



CITY OF LESLIE

602 W. Bellevue • P.O. Box 496 • Leslie, MI 49251-0496
Phone: 517-589-8236 • Fax: 517-878-6868 • Web Site: www.cityofleslie.org

AGENDA

LESLIE CITY PLANNING COMMISSION
6:00 P.M., WEDNESDAY, DECEMBER 23, 2020
LESLIE CITY HALL, 602 W. BELLEVUE STREET, LESLIE

Meeting to be held as a Virtual Meeting due to the COVID-19 pandemic, under the authority of PA 267 of 1976 Open Meetings Act as amended by 2018 PA 485 and PA 228 of 2020.

ON THE AGENDA:

1. Meeting called to order by Chair. Roll Call.
2. Pledge of Allegiance.
3. Approve the Agenda.
4. Approve Minutes from November 25, 2020 meeting.
5. Public Comment - Non-Agenda Items that cannot be handled during business hours.
6. Public Hearing: Special Land Use (SLU permit application for an outdoor storage facility at 4660 S. Hull Road, parcel #33-17-14-28-152-003.
7. Items of Business:
 - a. Site Plan Review 4660 S Hull Road, parcel #33-17-14-28-152-003.
8. Items of Discussion: None.
9. Motion to Adjourn the Meeting.

Next planning commission meeting is **January 27, 2021** at 6:00 pm.

A handwritten signature in black ink that reads "Chelsea Cox".

Chelsea Cox
Leslie City Clerk

Leslie City Planning Commission

A virtual meeting was held at 6:00 PM on
Wednesday November 25, 2020

Meeting Minutes

1. Meeting called to order by Chair Williams at 6:00 pm. Roll Call.

Present: Williams, Chamberlain, Muenzenmaier, Winslow, Mitchell & Beegle.

Absent: Babin, Stacy.

Also Present: City Manager/Zoning Administrator Susan Montenegro, Norman Albrecht, Mike & Anna Centofanti.

2. Pledge of Allegiance.

Chair Williams led those present in the pledge of allegiance.

3. Approve the Agenda.

Motion by Beegle, seconded by Winslow to approve the agenda.

All ayes, motion carried.

4. Approve Minutes from the October 14, 2020 meeting.

Motion by Winslow, seconded by Chamberlain to approve the minutes of the Oct 14, 2020 meeting.

All ayes, motion carried.

5. Public Comment – Mike Centofanti asked what determines when a detention basin is necessary for a commercial build.

6. Public Hearing – None.

7. Items of Business:

a. Site Plan Review for Verde Fields Grow Facility in the business park.

Presentation by Norman Albrecht. Albrecht stated he has 15 years of experience in construction and will do the rough in of the building. Five entry doors will give access to the building, one loading door is located on the east side of the building. Lighting will be pointed down on the sides of the building to prevent light flooding onto adjoining properties.

Motion by Winslow, seconded by Beegle to approve the site plan for the medical marihuana grow facility located in business park as depicted on the plan prepared by Mark Fauser of Fauser Land Surveying, last dated 11-2-2020 subject to the following:

1. That construction of the proposed building will require a building permit and cull construction plans.
2. Any signs will require sign permits.

Roll Call Vote:

AYES: Beegle, Mitchell, Winslow, Muenzenmaier, Chamberlain, Williams.

Leslie City Planning Commission

NAYS: None.

ABSENT: Babin, Stacy.

Motion carried.

8. Items of Discussion. None.

9. Motion to adjourn meeting by Winslow seconded by Mitchel at 6:30 pm.

All ayes, motion carried.

Respectfully submitted,

Susan Montenegro,

Acting Secretary.

Application For Special Use Permit City of Leslie	Permit # _____
	Date _____
	Applicant _____

To: The City of Leslie Council & The City of Leslie Planning Commission

From: Applicants Name: Michael Centofanti

Phone Number: 734-433-0061

Address: 905 MORRIS AVE, LANSING MI 48917

Five (5) copies of this petition must be completed in full and submitted to the Zoning Administrator along with any additional information required.

A. Property Information

1. Property Description PARCEL #
33-17-14-28-152-003
2.68 ACRES

2. Address of Property: TBD

3. Existing Zoning of Property: A1 Agri

4. Proposed Use of Property: Self Storage
Facility Construction & Operation

5. Estimated Completion Date of Construction or Alteration (if applicable):
FALL 2021

B. Plot Plan Requirements

1. Existing zone boundaries
2. Lot dimensions and total property area
3. Location, use and dimensions of proposed and existing structures on and adjacent to site.
4. Proposed setbacks and yards.
5. Street rights-of-way, widths and street names.
6. Location, size and number of off-street parking spaces (if applicable)
7. Provisions for water and sewer service
8. Location and names of roads and road types (state, county, city; major or local)

C. Affidavit:

The undersigned affirms that (he) (she) (they) is/are the OWNER
(Specify owner, lessee, or other interest) involved in this petition and that the foregoing
answers, statements and information are in all respects true and correct to the best of
(his) (her) (their) knowledge and belief.

Signed [Signature] Phone 734-433-0061
Address 905 MORRIS AVE LANSING Date 11/25/2020
48917

*Note: The party or parties signing the above affidavit should remember that the right to
the above permit is subject to annual review and is not transferrable. The standards on
which this permit is issued must be maintained to insure annual renewal.*

Official Action:

City of Leslie Planning Commission

Date Received: _____

Action Taken: _____

Date of Public Hearing: _____

Date of Advertising: _____

Action Taken: _____

Secretary

Leslie City Council

Date Received: _____

Action Taken: _____

Date: _____

City Clerk

**CITY OF LESLIE, MICHIGAN
SITE PLAN REVIEW APPLICATION AND CHECKLIST**

- Approval of the site plan is hereby requested for the following parcel(s) of land in the City of Leslie
- This application is submitted with three (3) copies of the complete site plan and payment of the appropriate review fees. Applicant shall also submit a digital version of the site plan to the zoning administrator.
- Application must be filed least 25 days prior to a scheduled planning commission meeting for staff review and proper notices.
- The attached checklist has been completed to certify the data contained on the site plan. If the required data has not been provided, the appropriate box has been checked with a statement of explanation on why the data has not been provided.
- I understand that if my site plan is deemed to be incomplete, it may be returned by the City for revisions without being forwarded to the Planning Commission for consideration, until such time as the requirements have been adequately met.
- By signing this application, the applicant hereby grants full authority to the City of Leslie, its agents, employees, representatives and/or appointees to enter upon the undersigned lands/parcel(s) for the purposes of inspection and examination.

Application Filed On: November 25, 2020

Application Transmitted by City On:

Property Details:

1. Name of Proposed Development: TBD
2. Property Street Address: TO BE ISSUED
3. Location of Property: On the (north, south, east, west side) of Street, between South of BelleVue, East Side
4. Legal Description of Property: Included on Plans
5. Site Area (in acres and square feet): 2.68 Acres 115,869.6 Sq. Ft.
6. Zoning Designation of Property: A1, Agricultural

Ownership:

1. Name of Title/Deed Holder: Michael Centofanti
2. Address: 905 MORRIS AVE LANSING, MI 48917
3. Telephone No: 734-433-0061
4. Email address: MACENTOFANTI@GMAIL

Applicant:

1. Applicant (If different from owner above):
2. Address:
3. Telephone No:
4. Email address:
5. Interest in Property (potential buyer/lease holder/potential lessee/other):

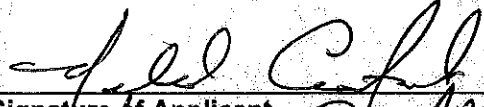

Architect/Surveyor/Engineer preparing site plan:

- 1. Name of Individual: Frederick & Associates
- 2. Address: 4645 Summit Street Toledo OH 43611
- 3. Telephone No: 419-340-2650
- 4. Email address: dfrederick@frederickassoc.com

PLEASE NOTE: LLC establishments must have a current plan of operation.

APPLICATION FEES:

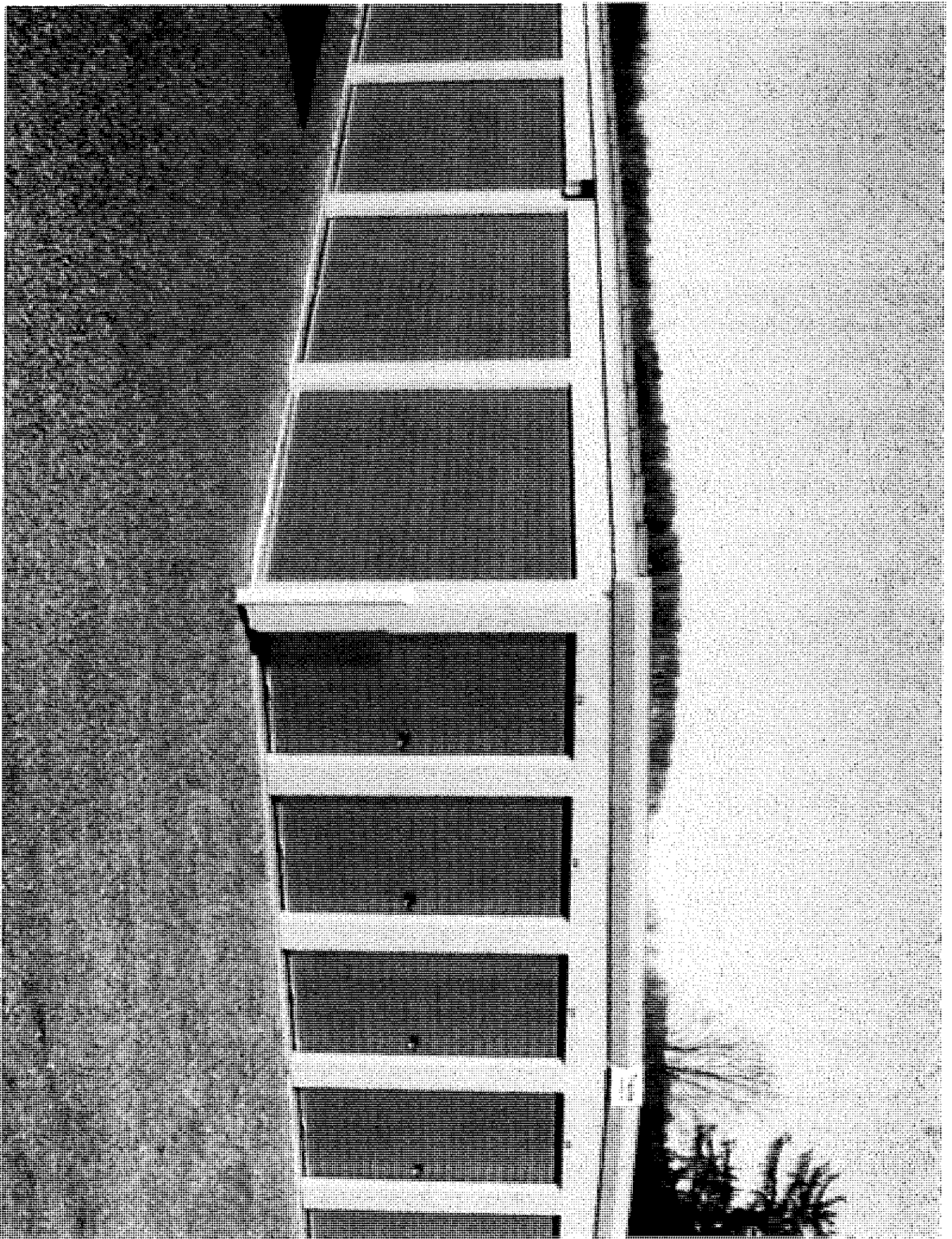
- | | |
|--|--------------|
| • Administrative Review | • 1st - Free |
| • Preliminary Site Plan Review | • \$200 |
| • Sketch Plan Review (basic homeowner projects) | • \$200 |
| • Single Family Residential (new construction) | • \$100 |
| • Planned Unit Development/Mixed use development | • \$200 |
| • Commercial Site Plan Review | ✓ • \$400 |
| • Industrial Site Plan Review | • \$500 |


Signature of Applicant

Signature of Deed/Title Holder

Date 11/25/2020
Date 11/25/2020

PLEASE PROVIDE AN OVERVIEW OF THE PROJECT:

Development of Self-Storage Facility
Phased Construction



CITY OF LESLIE PLANNING COMMISSION STAFF REPORT

DATE: December 15, 2020
TO: Planning Commission
FROM: Susan Montenegro, City Manager and Zoning Administrator
SUBJECT: Site Plan Request – 4660 S Hull Public Storage Facility

Background & Building Information

Michael and Annalise Centofanti, Applicants, request a special use permit and site plan approval at 4660 S Hull Road, parcel # 33-17-14-28-152-003 to construct and operate an outdoor storage facility.

Zoning and Zoning Use

	CURRENT LAND USE	ZONING
Site	Vacant	Agricultural
North	Residential	B2 Highway
South	Residential	B2 Highway
East	Vacant	Agricultural
West	US-127 Highway	Agricultural

	REQUIRED	EXISTING	PROPOSED
Zoning	B2 Highway or A1 Ag	A-1 Agricultural	No change
Gross Lot Area	Minimum of 8,000 sq. ft.	2.66 acres = 115,869.6 sq. ft.	No change
Max. Height of Bldg.			
Setbacks – Front Yard Side Yard Rear Yard	60' 30' 60'	--- --- ---	76'8" prior to office then 54'3" 32'3" 79'9"
Parking	See below	None	3 parking spots (1 is handicap accessible) at front near proposed office. Drive aisles can be used for parking throughout.

Special Uses Permitted

Per Section 98-945. - Public storage rental facilities.

(a) *The minimum lot area for any public storage rental facilities shall be 8,000 square feet.*

- (b) *Public storage rental facilities shall be limited to storage use. Other commercial or associated uses are prohibited.*
- (c) *A residence may be permitted for security personnel or on-site operator.*
- (d) *Parking and circulation:*
 - (1) *One parking space shall be provided for each ten storage cubicles, equally distributed throughout the storage area. The parking requirement can be met with the parking lanes required for the storage area.*
 - (2) *Two parking spaces shall also be required for the residence of security personnel or on-site operator employed on the premises.*
 - (3) *One parking space shall also be required for every twenty storage cubicles up to a maximum of ten spaces, to be located adjacent to the rental office for the use of prospective clients.*
 - (4) *The following parking lanes and access aisles shall be required: Twelve feet wide by a minimum of 25 foot long aisles.*
 - (5) *All driveways, parking, loading, storage, and vehicular circulation areas shall be paved, or constructed of approved driveway material.*
- (e) *The hours of operation of any public storage rental facilities shall be between 8:00 a.m. and 8:00 p.m., seven days per week.*

Other Site Plan Details-

Septic Field

- This site is outside of the City sewer system. Applicant shows a 400 sq. ft. future septic field located just to the south of the entrance. No further information was given regarding potential bathrooms. The septic field plans will need approval from the Ingham County Health Department prior to installation.

Outdoor Storage

- None indicated.

Waste Material

- No waste receptacles or dumpster(s) are indicated.

Utilities and Mechanical Equipment

- A 10' x 10' mechanical room will be placed in the first building as this will be a partially conditioned building.

Surface Water

- Catch basins are located throughout the parking aisles between the buildings with runoff directed to a detention basin. DPW has reviewed this and feel the basin as designed is adequate.

Building Construction

- The site plan is divided into 3 building phases.
 - The first phase includes perimeter fencing, a detention basin and two storage buildings. Building one is 175' x 50' and will be partially conditioned and contains a mechanical room in the southwest corner. Building two is 190' 30' and is unconditioned.

- The second phase includes two additional storage buildings, both are 190' x 30' and unconditioned.
- The third phase includes one additional unconditioned 190' x 30' storage building and a 20' x 20' office building located at the front of the first building.

Landscaping

- A gravel berm is designed at the south end entrance of the site where trees will be planted.

Signs

- Two signs are indicated on the site plan and will need to go through the sign permitting process, which is outside of the site plan approval.

Fences and Walls

- A 6' chain link fence will be placed around the building. A sliding gate will control access.
- Fence permits will need to be pulled prior to installation.
- Concern is expressed by staff that the north west portion of the fence will go through an existing driveway. Mr. Centofanti has been advised previously that this would need to be decided by a judge as this is a civil matter.

Staff Recommendations

The front yard setback is short by 5'7" once the office building is built during phase three and will not meet the requirement of 60'. Office size will need to be modified or moved to fit within the setback requirements.

Appropriate permits will need to be obtained from the Ingham County Health Department for septic field; Ingham County Drain Commission for detention basin connection to the Rolston Drain; Ingham County Road Commission for driveway installation; building or trades permits prior to construction.

The fence issue prevents staff from recommending approval of this site plan. The applicant needs to obtain an official ruling from a judge stating he has full control of this land as this is a civil matter.

1) If the applicant is unwilling to obtain the official ruling then staff recommends denying approval.

2) Staff would recommend approval if applicant is willing to move the fence so as to not obstruct the driveway, or any portion thereof past the east edge of the house used for parking for the residential structure to the north of this site plan.

Commission Action

Planning commission will need to consider the facts before making a final ruling and has the right to:

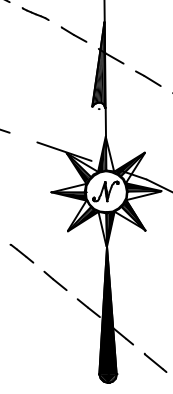
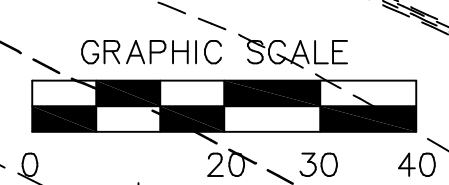
- Table the site plan approval request and ask the applicant to come back with suggested modifications;
- Approve the site plan with stipulated conditions and agreeance from the applicant;
- Deny the site plan outright.

Attachments:

1. Site Plan
2. Application

SPECIAL USE SITE PLAN

MICHAEL CENTOFANTI
 PARCEL: 33-17-14-28-152-003
 BEING A 2.660 ACRE PARCEL
 NORTHWEST 1/4 SECTION 28
 TOWN 1 NORTH, RANGE 1 WEST
 CITY OF LESLIE, INGHAM COUNTY,
 STATE OF MICHIGAN



REVISIONS	DATE
INITIAL SITE PLAN	3/19/20
REV PER CLIENT	3/20/20

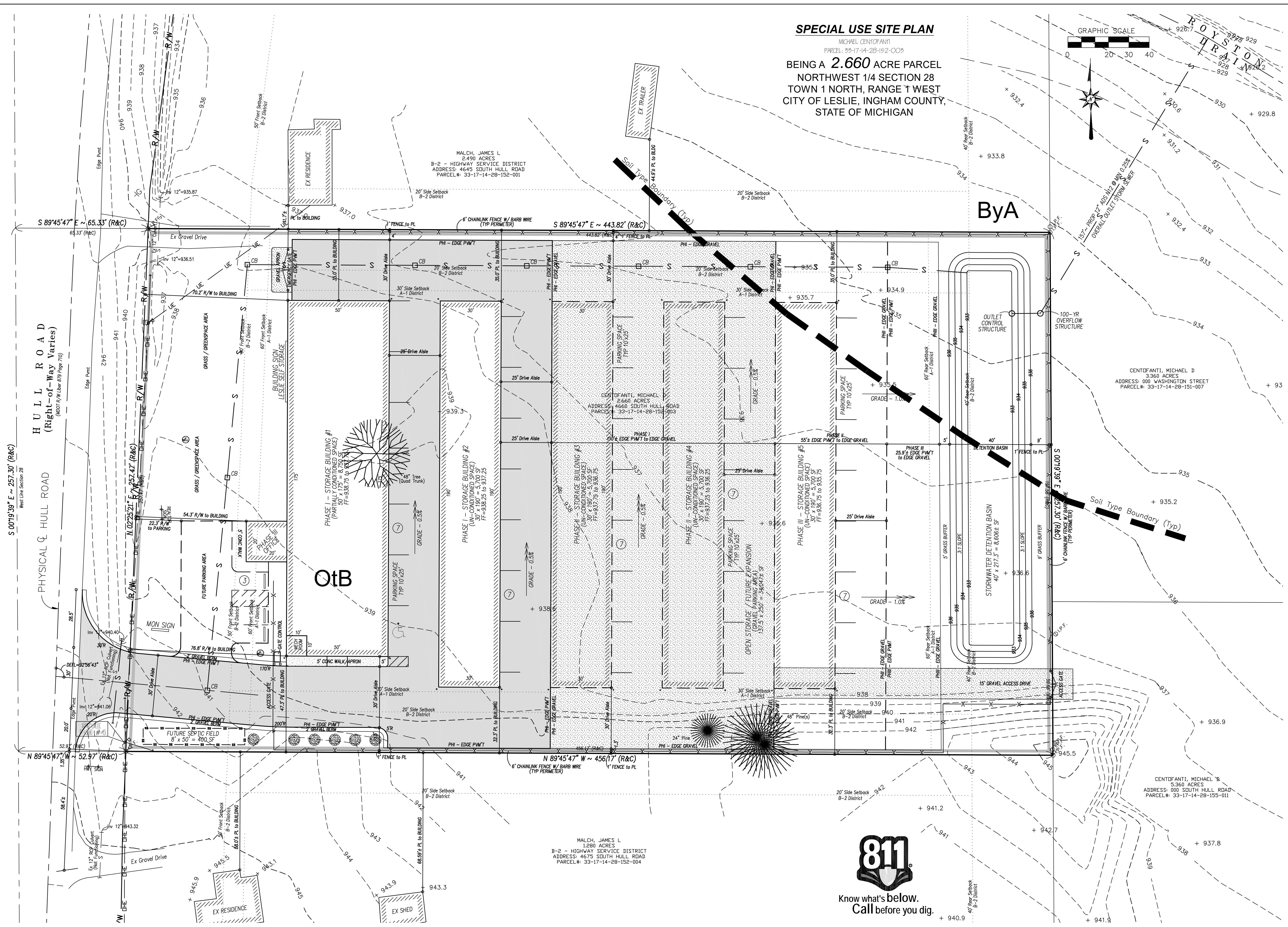
ALL DRAWINGS IN THIS SET SHALL BE THE PROPERTY OF DRF, FREDERICK & ASSOCIATES. NO PART OF THIS SET SHALL BE REPRODUCED, COPIED, OR ALTERED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

FREDERICK & ASSOCIATES
 ENGINEERS - SURVEYORS - PLANNERS
 4645 N. SUMMIT STREET TOLEDO, OHIO 43611
 419.540.2650 fax 419.726.1995
 DRFREDERICK@FREDERICKASSOC.COM

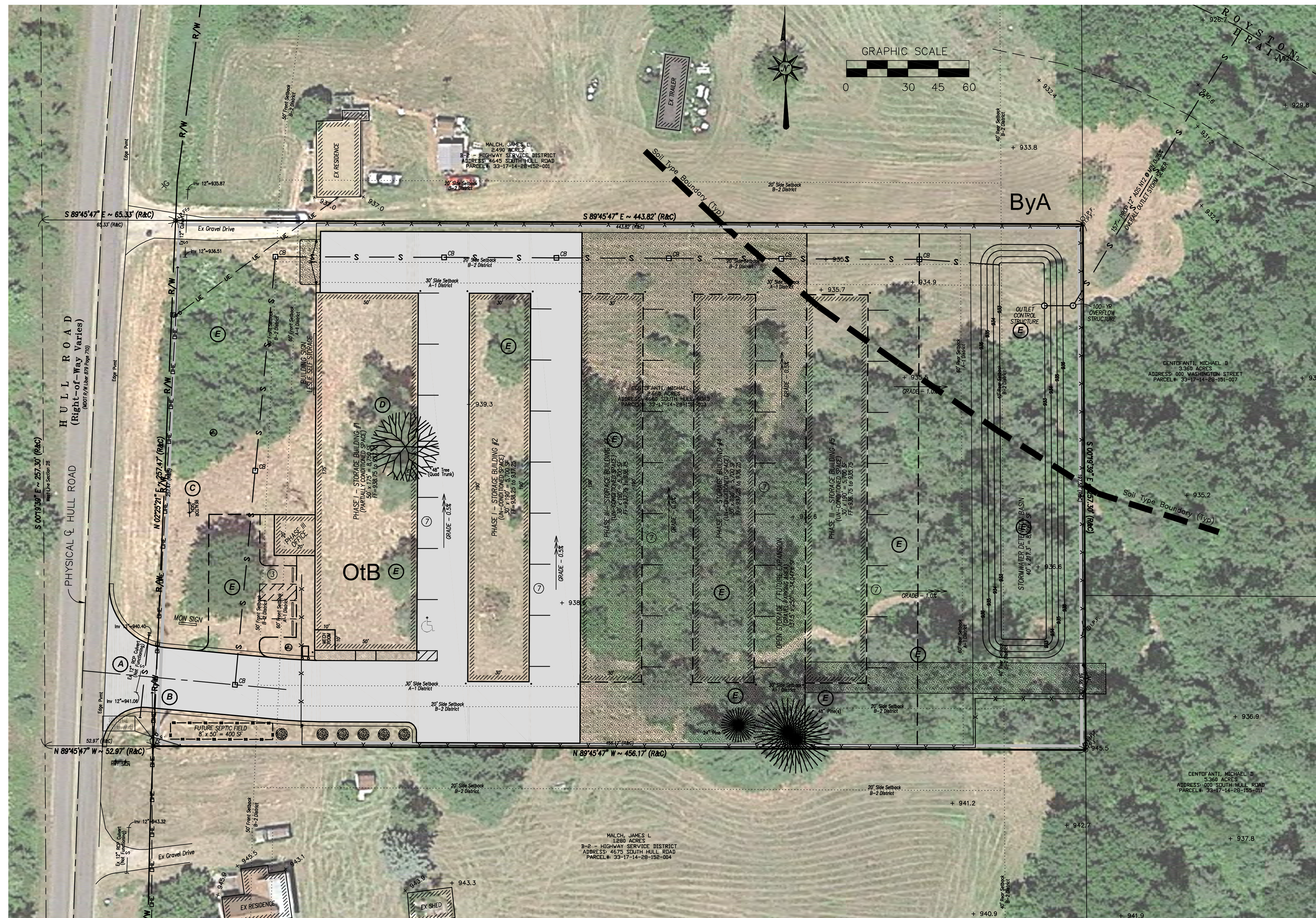
SPECIAL USE SITE PLAN
LESLIE SELF STORAGE
 4660 SOUTH HULL ROAD
 CITY OF LESLIE, INGHAM COUNTY, MICHIGAN

DATE: MAR 2020
 DRAWN BY: DRF
 JOB No.: 20-2175
 SCALE: 1" = 20'

SHEET
 2
 4



Know what's below.
 Call before you dig.



DEVELOPMENT AREA SUMMARY:

TOTAL SITE AREA = 115,777.5 SF (2.660 ACRE)
PHASE I DEVELOPMENT:
 BUILDING AREA = 14,450.0 SF (12.5% COVERAGE)
 CONCRETE AREA = 249.5 SF
 ASPHALT AREA = 20,596.3 SF
 TOTAL IMPERVIOUS AREA = 35,345.8 SF (30.5% COVERAGE)
 GRAVEL AREA = 29,926.1 SF (25.8% COVERAGE)
 DETENTION BASIN = 8,006.0 SF
 GREENSPACE = 50,505.6 SF (43.6% COVERAGE)
PHASE II DEVELOPMENT
 EXPANSION CONTAINED WITHIN THE PHASE I - GRAVEL AREA
 BUILDING AREA = 11,400 SF (9.8% COVERAGE)
 ASPHALT AREA = 16,100 SF (13.9% COVERAGE)
 GRAVEL AREA = 12,925.0 SF (11.1% COVERAGE)
PHASE III DEVELOPMENT
 EXPANSION CONTAINED WITHIN THE FRONT GREENSPACE & PHASE II GRAVEL
 BUILDING AREA = 6,100.0 SF (5.3% COVERAGE)
 ASPHALT AREA = 10,400.9 SF (8.9% COVERAGE)
 GRAVEL AREA = 6,140.5 SF (5.3% COVERAGE)
 CONC AREA = 228.0 SF (0.19% COVERAGE)
OVERALL DEVELOPMENT - PHASE I + PHASE II + PHASE III
 BUILDING AREA = 31,950.0 SF (27.6% COVERAGE)
 CONCRETE AREA = 477.6 SF
 ASPHALT AREA = 47,097.2 SF
 TOTAL IMPERVIOUS AREA = 79,524.8 SF (68.7% COVERAGE)
 GRAVEL AREA = 6,360.1 SF (5.5% COVERAGE)
 DETENTION BASIN = 8,006.0 SF
 GREENSPACE = 29,892.6 SF (25.8% COVERAGE)
 (INCLUDES DETENTION BASIN AREA)

SPECIAL USE SITE PLAN

MICHAEL CENTOFANTI
 PARCEL: 33-17-14-2B-152-003
 BEING A 2.660 ACRE PARCEL
 NORTHWEST 1/4 SECTION 28
 TOWN 1 NORTH, RANGE 1 WEST
 CITY OF LESLIE, INGHAM COUNTY,
 STATE OF MICHIGAN

REVISIONS	DATE
INITIAL SITE PLAN	3/19/20
REV PER CLIENT	3/20/20

ALL DRAWINGS IN THIS PLAN ARE THE PROPERTY OF DRK FREDERICK & ASSOCIATES. NO PART OF THIS PLAN IS TO BE REPRODUCED, COPIED, OR ALTERED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

FREDERICK & ASSOCIATES
 ENGINEERS - SURVEYORS - PLANNERS
 4645 N. SUMMIT STREET TOLEDO, OHIO 43611
 419-540-2650 fax 419-726-1995
 DRK@FREDERICKASSOC.COM

SPECIAL USE SITE PLAN
LESLIE SELF STORAGE
 4660 SOUTH HULL ROAD
 CITY OF LESLIE, INGHAM COUNTY, MICHIGAN

DATE:	MAR 2020
DRAWN BY:	DRF
JOB No.:	20-2175
SCALE:	1" = 30'
SHEET	3/4



LEGEND

	PROPERTY LINE		PINE TREE
	RIGHT-OF-WAY LINE		DECIDUOUS TREE
	LOT LINE		BUSH
	SETBACK LIMIT		STRAIN POLE W/ BASE
	EASEMENT		TRAFFIC PULL BOX
	CENTERLINE		BOLLARD (VARIABLE SIZE)
	PARKING STRIPE		GAS METER
	EDGE OF ASPHALT		ELECTRIC METER
	CURB		UNDERGROUND ELECTRIC DROP
	CONCRETE		PULL BOX
	GRAVEL		GUY WIRE
	EXISTING BUILDING		POWER POLE
	SANITARY SEWER		LIGHT POLE
	STORM SEWER		SPOT ELEVATION
	WATER LINE		MAILBOX
	ELECTRIC LINE		MONUMENT SIGN
	GAS LINE		HIGHWAY SIGN
	TELEPHONE LINE		CONTOUR
	CABLE LINE		SANITARY MANHOLE
	FENCE		STORM MANHOLE
	975		CATCH BASIN
	CONTOUR		WATER VALVE
	SANITARY MANHOLE		FIRE HYDRANT
	STORM MANHOLE		WATER METER
	CATCH BASIN		FIRE CONNECTION
	WATER VALVE		SPRINKLER
	FIRE HYDRANT		IRRIGATION CONTROL VALVE
	WATER METER		DRILL HOLE SET
	FIRE CONNECTION		HUB SET
	SPRINKLER		
	IRRIGATION CONTROL VALVE		
	DRILL HOLE SET		
	HUB SET		

GENERAL / DEMOLITION NOTES:

- 1) ALL EXCESS MATERIALS & MATERIALS LABELED "TO BE REMOVED" OR "TBR" SHALL BE TRANSPORTED OFF SITE & DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. ALL COST ASSOCIATED WITH THE EXCAVATION, LOADING, HAULING & DISPOSING OF THE MATERIAL SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- 2) ALL EXISTING FEATURES DESIGNATED TO REMAIN THAT ARE DISTURBED DUE TO CONSTRUCTION AND / OR CONTRACTOR'S OPERATION, SUCH AS MAILBOXES, SHRUBS, BUSHES, GUARDRAIL, SIGNS, LIGHTS, DRIVEWAYS, CURBS, SWALES, SEWERS, CATCH BASINS, BERMS, SEEDED AREAS, ETC., SHALL BE REPLACED IN KIND TO THEIR ORIGINAL CONDITION / GRADE IN ACCORDANCE WITH APPLICABLE MDOT AND CITY OF LESLIE SPECIFICATIONS. FURTHER, REPAIR / REPLACEMENT SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND CITY. REPAIR / REPLACEMENT OF THESE ITEMS SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 3) CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY/ALL LANE CLOSURES, PARKING CLOSURES AND/OR TRAFFIC ISSUES WITH THE ENGINEER, OWNER & CITY.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, TYPE AND MATERIAL, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. ANY CONFLICTS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR DISCUSSION PRIOR TO CONSTRUCTION.
- 5) THE CONTRACTOR SHALL CALL 811, A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
- 6) CONTRACTOR SHALL CONDUCT A THOROUGH SITE INSPECTION PRIOR TO BIDDING TO VERIFY LIMITS OF PROJECT & DEMOLITION. COORDINATE BID ITEMS WITH THE DEVELOPER AND ENGINEER.
- 7) THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND DURING HIS INVESTIGATION OF THE EXISTING SITE CONDITIONS.
- 8) THE CONTRACTOR SHALL FOLLOW ALL STATE, COUNTY, CITY AND ANY OTHER LOCAL SAFETY REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION OF THIS PROJECT.
- 9) ALL PARKING, DRIVEWAY AND ROADWAY PAVEMENT REMOVALS SHALL BE CUT WITH NEAT LINES BY USE OF A POWER CARBORUNDUM SAW, 6 INCHES BEHIND THE PROPOSED CURB LINE AND/OR MATCHLINE, TO A MINIMUM DEPTH OF THE EXISTING PAVEMENT SECTION. REMOVAL SHALL BE MADE ONLY TO THE EXTENT APPROVED BY THE OWNER AND THE CITY OF LESLIE, AS APPLICABLE.

REMOVAL / DEMOLITION DATA:

- (A) EX CULVERT REMOVAL & REPLACEMENT INCLUDING DITCH GRADING PER APPROVED CONSTRUCTION PLANS
 - (B) GUY WIRE RELOCATION - COORDINATE WITH UTILITY PROVIDER
 - (C) SIGN REMOVAL
 - (D) 1 EACH - 48" TREE REMOVAL
 - (E) 3 EACH - 24" & 48" PINE(S) REMOVAL
 - (F) GENERAL TREE CLEARING & GRUBBING INCLUDING REMOVAL OF STUMPS
- 1) SEE CONSTRUCTION SEQUENCE NOTES ON SHEET C-1 FOR DETAILS & OWNER RECOMMENDATIONS.
 2) STORM SEWER REPAIR AND/OR REPLACEMENT / DITCH GRADING SHOULD BE ANTICIPATED FOR THE SOUTH HULL ROAD FRONTAGE AS PART OF THE PROJECT.

GENERAL NOTES:

- 1) ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- 2) SITE CONSTRUCTION SEQUENCE SHALL BE COORDINATED WITH THE OWNER, ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
- 3) CONTRACTOR SHALL MAINTAIN TRAFFIC ALONG PUBLIC STREETS AND THOROUGHFARES AT ALL TIMES THROUGHOUT CONSTRUCTION.
- 4) CONTRACTOR SHALL NOT SCALE ANY DIMENSIONS FROM THE PLANS. ANY QUESTIONS AND/OR CLARIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO BIDDING AND/OR CONSTRUCTION.
- 5) CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE OVER THE SURFACES OF THE PROJECT TO THE STORM SEWER SYSTEM. COORDINATE ANY GRADING ISSUES WITH THE DEVELOPER AND ENGINEER PRIOR TO THE COMMENCING THE WORK.
- 6) REFER TO THE STANDARD DETAIL SHEETS FOR ADDITIONAL PLAN SPECIFICATIONS, PAVEMENT SECTIONS, DETAILS, ETC.
- 7) STANDARD PARKING STRIPING SHALL BE CONTINUOUS 4" YELLOW STRIPES. HANDICAP PARKING STRIPING SHALL BE 4" WIDE BLUE PAINT MEETING LOCAL REQUIREMENTS.
- 8) A MINIMUM 18" OF VERTICAL CLEARANCE SHALL BE MAINTAINED AT ALL UTILITY CROSSINGS.



CITY OF LESLIE

602 W. Bellevue • P.O. Box 496 • Leslie, MI 49251-0496
Phone: 517-589-8236 • Fax: 517-878-6868 • Web Site: www.cityofleslie.org

NOTICE VIRTUAL PUBLIC HEARING CITY OF LESLIE RESIDENTS

PLEASE BE NOTIFIED, that there will be a **VIRTUAL PUBLIC HEARING** held:

Leslie City Planning Commission meeting

Date: December 23, 2020

Time: 6:00 PM

Place: Leslie City Hall – Virtual Meeting

602 W. Bellevue Street

Leslie, MI 49251

Purpose of this public hearing is to consider the following application for Special Use:

CASE NO. 2020-SU-03: Michael and Annalise Centofanti, Applicants, requests a special use permit at 0 Hull Road, Leslie, MI 49251 to construct and operate an outdoor storage facility.

Property Location: 0 S. Hull Road

Tax Parcel No.: 33-17-14-28-152-003

Legal Description: LSV-434-4 BEG @ A PT 1584 FT SOF NW COR SEC 28 -S 257.3 FT -E 509.14 FT -N 257.3 FT -W 509.14 FT TO POB SEC 28 T1NR1W CITY OF LESLIE 2.68A

Current Zoning: A-1 Agricultural District

Leslie City Council will review Special Use Permit No. 2020-SU-03 at its virtual meeting held Tuesday, January 19, 2021 at 7:00 PM at Leslie City Hall 602 W. Bellevue St., Leslie, MI 49251 and offer the final determination.

Additional details may be examined at the Leslie City Offices, 602 W. Bellevue Street, Leslie, MI 49251, during regular business hours, Monday – Friday 8:00 am – 4:30 pm.

Public comment will be accepted regarding this application at the virtual public hearing conducted by the Leslie City Planning Commission on Wednesday, December 23, 2020 at 6:00 pm and at a virtual meeting of the Leslie City Council Meeting on Tuesday, January 19, 2021 at 7:00 pm. Written comments will be accepted at Leslie City Offices P.O. Box 496 Leslie, MI 49251.

THIS NOTICE IS SENT TO ALL PROPERTY OWNERS OF RECORD, FOR PROPERTY WITHIN 300 FEET OF ANY PORTION OF THE APPLICANT'S PROPERTY.

Chelsea Cox, Leslie City Clerk
City of Leslie

This institution is an equal opportunity provider and employer.

**CITY OF LESLIE NOTICE OF ELECTRONIC MEETING
REGULAR MEETING OF THE LESLIE PLANNING COMMISSION
WEDNESDAY, DECEMBER 23, 2020 AT 6:00 PM**

Purpose of Meeting

Regular meeting of the Leslie Planning Commission.

Reason for Electronic Meeting

Public Act 228 of 2020 amends the Open Meetings Act granting authorization of remote participation in public meetings and hearings using electronic methods. The City of Leslie must allow for two-way communication during its meetings, so that public participants can hear members of the public body and can be heard by members of the public body and other participants during a public comment period. To protect the public health, safety, and welfare and comply with Center for Disease Control and Prevention recommendations, local governing bodies may meet remotely and electronically.

Public Participation Instructions

Members of the public may view the meeting live at:

<https://cityofleslie.webex.com/cityofleslie/onstage/g.php?MTID=e0460624f9df22260b375873f38c313ce>

Or Dial In: 1-415-655-0001 and follow prompts.

Members of the public may submit comments to be read aloud by the City Manager during public comment by e-mailing comments (Include your full name and address) in advance of the meeting to manager@cityofleslie.org or during the public comment portion of the meeting by submitting your full name, address, and comment on the live stream of the meeting. Comments should be limited to no more than three minutes. A broadcast of the meeting will also be available within eight business days on the City of Leslie website at www.cityofleslie.org.

Public Input and Questions on Business before the Leslie Planning Commission Regular Meeting

Members of the public may contact the City Manager to provide input or ask questions regarding the Planning Commission meeting by e-mail at manager@cityofleslie.org.

Persons with Disabilities Participation Instructions

The City of Leslie will provide reasonable accommodations to individuals with disabilities who want to electronically attend the meeting with twenty-four (24) hour notice to the City of Leslie.