

CITY OF LESLIE

602 W. Bellevue • P.O. Box 496 • Leslie, MI 49251-0496 Phone: 517-589-8236 • Fax: 517-878-6868 • Web Site: www.cityofleslie.org

AGENDA

LESLIE CITY PLANNING COMMISSION 6:00 P.M., WEDNESDAY, DECEMBER 23, 2020 LESLIE CITY HALL, 602 W. BELLEVUE STREET, LESLIE

Meeting to be held as a Virtual Meeting due to the COVID-19 pandemic, under the authority of PA 267 of 1976 Open Meetings Act as amended by 2018 PA 485 and PA 228 of 2020.

ON THE AGENDA:

- 1. Meeting called to order by Chair. Roll Call.
- 2. Pledge of Allegiance.
- 3. Approve the Agenda.
- 4. Approve Minutes from November 25, 2020 meeting.
- **5. Public Comment** Non-Agenda Items that cannot be handled during business hours.
- **6. Public Hearing:** Special Land Use (SLU permit application for an outdoor storage facility at 4660 S. Hull Road, parcel #33-17-14-28-152-003.
- 7. Items of Business:
 - a. Site Plan Review 4660 S Hull Road, parcel #33-17-14-28-152-003.
- 8. Items of Discussion: None.
- 9. Motion to Adjourn the Meeting.

Next planning commission meeting is **January 27, 2021** at 6:00 pm.

Chelsea Cox Leslie City Clerk

Leslie City Planning Commission

A virtual meeting was held at 6:00 PM on Wednesday November 25, 2020

Meeting Minutes

1. Meeting called to order by Chair Williams at 6:00 pm. Roll Call.

Present: Williams, Chamberlain, Muenzenmaier, Winslow, Mitchell & Beegle.

Absent: Babin, Stacy.

Also Present: City Manager/Zoning Administrator Susan Montenegro, Norman Albrecht,

Mike & Anna Centofanti.

2. Pledge of Allegiance.

Chair Williams led those present in the pledge of allegiance.

3. Approve the Agenda.

Motion by Beegle, seconded by Winslow to approve the agenda.

All ayes, motion carried.

4. Approve Minutes from the October 14, 2020 meeting.

Motion by Winslow, seconded by Chamberlain to approve the minutes of the Oct 14, 2020 meeting.

All ayes, motion carried.

- **5. Public Comment –** Mike Centofanti asked what determines when a detention basin is necessary for a commercial build.
- 6. Public Hearing None.

7. Items of Business:

a. Site Plan Review for Verde Fields Grow Facility in the business park.

Presentation by Norman Albrecht. Albrecht stated he has 15 years of experience in construction and will do the rough in of the building. Five entry doors will give access to the building, one loading door is located on the east side of the building. Lighting will be pointed down on the sides of the building to prevent light flooding onto adjoining properties.

Motion by Winslow, seconded by Beegle to approve the site plan for the medical marihuana grow facility located in business park as depicted on the plan prepared by Mark Fauser of Fauser Land Surveying, last dated 11-2-2020 subject to the following:

- 1. That construction of the proposed building will require a building permit and cull construction plans.
- 2. Any signs will require sign permits.

Roll Call Vote:

AYES: Beegle, Mitchell, Winslow, Muenzenmaier, Chamberlain, Williams.

Leslie City Planning Commission

	ABSENT: Babin, Stacy.
	Motion carried.
8.	Items of Discussion. None.
9.	Motion to adjourn meeting by Winslow seconded by Mitchel at 6:30 pm.
	All ayes, motion carried.
Respec	tfully submitted,
Susan I	Montenegro,
Acting	Secretary.

NAYS: None.

	Application For Special Use Permit #		
To:	The City of Leslie Council & The City of Leslie Planning Commision		
From:	Applicants Name: M: Chasl CENtofANT;		
	Phone Number: 734-433-006		
	Address: 905 MORRIS AUE, LANSING	íΜ	48917
	Five (5) copies of this petition must be completed in full and submitted to the Zoning Administrator along with any additional information required.		
A. Propert	1. Property Description ARCE		
	33-17-14-28-152-003		
	2.68 Acres		
	2. Address of Property: TBD		
	3. Existing Zoning of Property: A 1 Agai		
	4. Proposed Use of Property: Salf Storage FACILITY CONSTRUCTION & Operation		
	5. Estimated Completion Date of Construction or Alteration (if applicable):		
	n Requirements		
	Existing zone boundaries Lot dimensions and total property area		
	 Location, use and dimensions of proposed and existing structures on and adjac 	ent to	

- site.
- 4. Proposed setbacks and yards.
- 5. Street rights-of-way, widths and street names.
- 6. Location, size and number of off-street parking spaces (if applicable)
- 7. Provisions for water and sewer service
- 8. Location and names of roads and road types (state, county, city; major or local)

C. Amidavit:	(-b-) (b-) id/ore the A () A S R
(Specify owner league, or other in	(she) (they) is/are the <u>ひいれを</u> terest) involved in this petition and that the foregoing
(Specify Owner, lessee, or other in	ion are in all respects true and correct to the best of
(his) (her) (their) knowledge and,b	
(mo) (mon) (mon) mismosgo umos	
Signed Signed	Phone 734-433-006/
Address /905	
	48917
Note: The party or parties signing	the above affidavit should remember that the right to
	ual review and is not transferrable. The standards on
which this permit is issued must be	e maintained to insure annual renewal.
Official Action:	
City of Leslie Planning Commissio	n
Date Received:	
Action Taken:	
113	
- Additional Control of the Control	
Date of Public Hearing;	
pate of Fability Healing,	
Date of Advertising:	
Action Taken:	
	The state of the s
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	Secretary
Leslie City Council	
Data Passivad	
Action Taken:	
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Data	
Date:	City Clerk
	Oily Gloric

CITY OF LESLIE, MICHIGAN SITE PLAN REVIEW APPLICATION AND CHECKLIST

> Approval of the site plan is hereby requested for the following parcel(s) of land in the City of Leslie

> This application is submitted with three (3) copies of the complete site plan and payment of the appropriate review fees. Applicant shall also submit a digital version of the site plan to the zoning administrator.

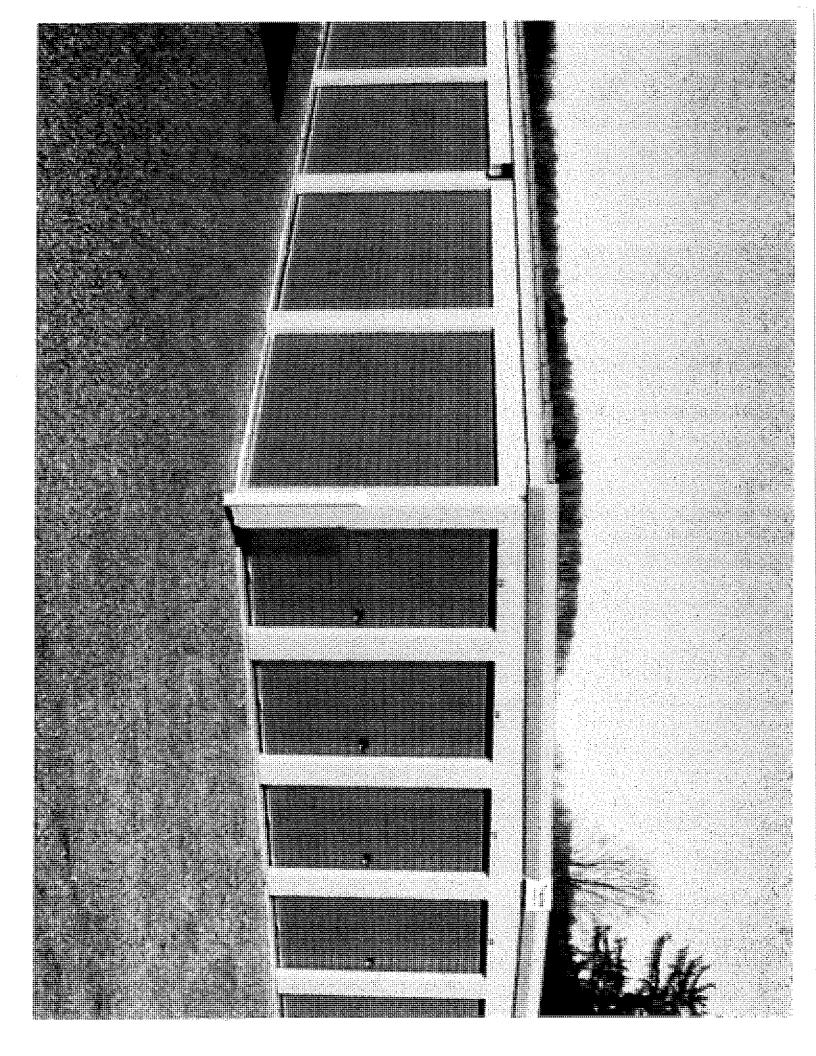
Application must be filed least 25 days prior to a scheduled planning commission meeting for staff review and

proper notices.

- > The attached checklist has been completed to certify the data contained on the site plan. If the required data has not been provided, the appropriate box has been checked with a statement of explanation on why the data has not been provided.
- I understand that if my site plan is deemed to be incomplete, it may be returned by the City for revisions without being forwarded to the Planning Commission for consideration, until such time as the requirements have been adequately met.
- > By signing this application, the applicant hereby grants full authority to the City of Leslie, its agents, employees, representatives and/or appointees to enter upon the undersigned lands/parcel(s) for the purposes of inspection and examination.

Application Filed On: November 25, 2020
Application Transmitted by City On:
Property Details:
1. Name of Proposed Development: TBD
2. Property Street Address: しょうしょう こうしゅう こうしゅう こうしゅう しゅうしゅう しゅうしゅう こうしゅう こうしゅう こうしゅう こうしゅう こうしゅう こうしゅう こうしゅう こうしゅう しゅうしゅう しゅうしゅう しゅうしゅう こうしゅう こうしゅう こうしゅう しゅうしゅう しゅうしゅう しゅうしゅう しゅうしゅう こうしゅう しゅうしゅう こうしゅう しゅうしゅう しゅう
3. Location of Property: On the (north, south, east, west side) of Street, between South of Bェルシリンと ミャッ
4. Legal Description of Property: エルビルはよし のみ わしゅいろ
5. Site Area (in acres and square feet): 2.68 Acres 115, 869.6 Se.C.F.
6. Zoning Designation of Property: A 1 Agricultural
Ownership:
1. Name of Title/Deed Holder: Michael CEStofast
2. Address: 905 MORKIS AJE LANSING, M. 48917
3. Telephone No: 734-433 - 0061
4. Email address: macentofanti @ 5 mA. 1
Applicant:
1. Applicant (If different from owner above):
2. Address:
3. Telephone No:
4. Email address:
5. Interest in Property (potential buyer/lease holder/potential lessee/other):

Architect/Surveyor/Engineer preparing site plan:	
1. Name of Individual: FREDERICK & ASSOCIATES	
2. Address: 4645 Summit Street Taledo OH	43611
3. Telephone No: 419 - 340 - 2650	
4. Email address: dfrederick efrederick ASSOC. com	
PLEASE NOTE: LLC establishments must have a current plan of operation.	
APPLICATION FEES:	
Administrative Review	• 1st - Free
Preliminary Site Plan Review	• \$200
Sketch Plan Review (basic homeowner projects)	• \$200
Single Family Residential (new construction)	• \$100
Planned Unit Development/Mixed use development	• \$200
Commercial Site Plan Review	./ • \$400
Industrial Site Plan Review	• \$500
-del Chi	11/25/2020
Signature of Applicant Date Signature of Deed/Title Holder Date	11/25/2020
	2 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
PLEASE PROVIDE AN OVERVIEW OF THE PROJECT:	- 7
DEUS lapment of Self-Storage FACILY	· .
Phased Construction	<u> </u>



CITY OF LESLIE PLANNING COMMISSION STAFF REPORT

DATE: December 15, 2020

TO: Planning Commission

FROM: Susan Montenegro, City Manager and Zoning Administrator

SUBJECT: Site Plan Request – 4660 S Hull Public Storage Facility

Background & Building Information

Michael and Annalise Centofanti, Applicants, request a special use permit and site plan approval at 4660 S Hull Road, parcel # 33-17-14-28-152-003 to construct and operate an outdoor storage facility.

Zoning and Zoning Use

	CURRENT LAND USE	ZONING
Site	Vacant	Agricultural
North	Residential	B2 Highway
South	Residential	B2 Highway
East	Vacant	Agricultural
West	US-127 Highway	Agricultural

	REQUIRED	EXISTING	PROPOSED
Zoning	B2 Highway or A1 Ag	A-1 Agricultural	No change
Gross Lot Area	Minimum of 8,000 sq. ft.	2.66 acres = 115,869.6 sq. ft.	No change
Max. Height of Bldg.			
Setbacks – Front Yard Side Yard Rear Yard	60' 30' 60'	 	76'8" prior to office then 54'3" 32'3" 79'9"
Parking	See below	None	3 parking spots (1 is handicap accessible) at front near proposed office. Drive aisles can be used for parking throughout.

Special Uses Permitted

Per Section 98-945. - Public storage rental facilities.

(a) The minimum lot area for any public storage rental facilities shall be 8,000 square feet.

- (b) Public storage rental facilities shall be limited to storage use. Other commercial or associated uses are prohibited.
- (c) A residence may be permitted for security personnel or on-site operator.
- (d) Parking and circulation:
 - (1) One parking space shall be provided for each ten storage cubicles, equally distributed throughout the storage area. The parking requirement can be met with the parking lanes required for the storage area.
 - (2) Two parking spaces shall also be required for the residence of security personnel or on-site operator employed on the premises.
 - (3) One parking space shall also be required for every twenty storage cubicles up to a maximum of ten spaces, to be located adjacent to the rental office for the use of prospective clients.
 - (4) The following parking lanes and access aisles shall be required: Twelve feet wide by a minimum of 25 foot long aisles.
 - (5) All driveways, parking, loading, storage, and vehicular circulation areas shall be paved, or constructed of approved driveway material.
- (e) The hours of operation of any public storage rental facilities shall be between 8:00 a.m. and 8:00 p.m., seven days per week.

Other Site Plan Details-

Septic Field

 This site is outside of the City sewer system. Applicant shows a 400 sq. ft. future septic field located just to the south of the entrance. No further information was given regarding potential bathrooms. The septic field plans will need approval from the Ingham County Health Department prior to installation.

Outdoor Storage

None indicated.

Waste Material

No waste receptacles or dumpster(s) are indicated.

Utilities and Mechanical Equipment

• A 10' x 10' mechanical room will be placed in the first building as this will be a partially conditioned building.

Surface Water

• Catch basins are located throughout the parking aisles between the buildings with runoff directed to a detention basin. DPW has reviewed this and feel the basin as designed is adequate.

Building Construction

- The site plan is divided into 3 building phases.
 - ➤ The first phase includes perimeter fencing, a detention basin and two storage buildings. Building one is 175' x 50' and will be partially conditioned and contains a mechanical room in the southwest corner. Building two is 190' 30' and is unconditioned.

- ➤ The second phase includes two additional storage buildings, both are 190' x 30' and unconditioned.
- The third phase includes one additional unconditioned 190' x 30' storage building and a 20' x 20' office building located at the front of the first building.

Landscaping

• A gravel berm is designed at the south end entrance of the site where trees will be planted.

Signs

• Two signs are indicated on the site plan and will need to go through the sign permitting process, which is outside of the site plan approval.

Fences and Walls

- A 6' chain link fence will be placed around the building. A sliding gate will control access.
- Fence permits will need to be pulled prior to installation.
- Concern is expressed by staff that the north west portion of the fence will go through an existing
 driveway. Mr. Centofanti has been advised previously that this would need to be decided by a
 judge as this is a civil matter.

Staff Recommendations

The front yard setback is short by 5'7" once the office building is built during phase three and will not meet the requirement of 60'. Office size will need to be modified or moved to fit within the setback requirements.

Appropriate permits will need to be obtained from the Ingham County Health Department for septic field; Ingham County Drain Commission for detention basin connection to the Rolston Drain; Ingham County Road Commission for driveway installation; building or trades permits prior to construction.

The fence issue prevents staff from recommending approval of this site plan. The applicant needs to obtain an official ruling from a judge stating he has full control of this land as this is a civil matter.

- 1) If the applicant is unwilling to obtain the official ruling then staff recommends denying approval.
- 2) Staff would recommend approval if applicant is willing to move the fence so as to not obstruct the driveway, or any portion thereof past the east edge of the house used for parking for the residential structure to the north of this site plan.

Commission Action

Planning commission will need to consider the facts before making a final ruling and has the right to:

- Table the site plan approval request and ask the applicant to come back with suggested modifications;
- Approve the site plan with stipulated conditions and agreeance from the applicant;
- Deny the site plan outright.

Attachments:

- 1. Site Plan
- 2. Application

PROPERTY ZONING

PURSUANT TO THE CITY OF LESLIE ZONING RESOLUTION LATEST AMENDMENT & EFFECTIVE DATE.

PARCEL ZONING: A-1 AGRICULTURAL DISTRICT

MINIMUM LOT SIZE: 5 ACRES (PRE-EXISTING LOT) MINIMUM LOT WIDTH: 125 FEET

MAXIMUM BUILDING HEIGHT: 2 1/2 STORIES (35 FEET) MAXIMUM BUILDING COVERAGE: 00%

YARD SETBACKS: FRONT = 60 FEET SIDE = 30 FEET

REAR = 60 FEET

SEC 98-932 - PERMITTED BY SPECIAL USE PERMIT

(11) PUBLIC STORAGE RENTAL FACILITIES WITHIN THE A-1 AGRICULTURAL DISTRICT AND B-2 HIGHWAY SERVICE DISTRICT.

SEC 98-945 - PUBLIC STORAGE RENTAL FACILITIES

- (A) MINIMUM LOT AREA SHALL BE 8,000 SF (SUBJECT SITE = 115,869 SF)
- (D) PARKING & CIRCULATION
- (1) PARKING PROVIDED IN 25' DRIVE AISLE BETWEEN BUILDINGS & 30' END-CAP DIRVE AISLES. (2) FUTURE OFFICE AREA PROVIDED THREE (3) PARKING SPACES

DESIGN PARAMETERS

- CITY OF LESLIE ZONING RESOLUTION, LATEST ISSUANCE

- MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY - INGHAM COUNTY DRAIN COMMISSIONER

- INGHAM COUNTY ROAD COMMISSION

TOPOGRAPHIC DATA, INCLUDING CONTOURS AND EXISTING UTILITY DATA, BASED ON SURVEY PREPARED BY ENGER SURVEYING & ENGINEERING DATED FEBRUARY 3, 2003.

BOUNDARY OF THE SUBJECT PARCEL BASED ON BOUNDARY SURVEY PREPARED BY ENGER SURVEYING & ENGINEERING DATED FEBRUARY 3, 2003. EXISTING BOUNDARY MONUMENTATION INDICATED ON PLAN BASED ON PRIOR SURVEY. D.R. FREDERICK & ASSOCIATES DID NOT PERFORM FIELD SURVEY OR PREPARE A BOUNDARY SURVEY FOR THE SUBJECT PARCEL AS PART OF THE SCOPE OF SERVICES FOR THIS PROJECT.

THE PROJECT AREA IS LOCATED WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN. OTHER PORTIONS OF THE ADJACENT PROPERTY MAY BE LOCATED IN ZONE A - ROYSTON DRAIN, AREAS WITHOUT BASE FLOOD ELEVATION ESTABLISHED.

BASE FLOOD ELEVATION = NOT ESTABLISHED

COMMUNITY PANEL # 26065 C 0375 D

OF THE FEDERAL FLOOD INSURANCE RATE MAPS EFFECTIVE DATE AUGUST 16, 2011

WETLAND DATA:

PER THE EGLE / MDEQ WETLANDS MAP VIEWER (HTTP://WWW.MCGI.STATE.MI.US/WETLANDS/) THERE MAYBE WETLANDS ASSOCIATED WITH THE CURRENT PROJECT AREA. PARTICULARLY ADJACENT TO ROYSTON DRAIN & LOW AREAS. THE CLIENT DID NOT PROVIDE A WETLANDS DELINEATION / CONSULTANT AS PART OF THIS PLAN PREPARATION OR FURTHER STUDY.

SOIL DATA:

BASED ON THE WEB SOIL SURVEY (HTTP://WEBSOILSURVEY.SC.EGOV.USDA.GOV) DOWNLOADED JUNE 2019 THE SITE IS COMPOSED OF:

- ByA BRADY SANDY LOAM, 0 TO 3 PERCENT SLOPES
- ('K' = 0.20, MODERATE RISK OF EROSION) · OtB - OSHTEMO-SPINKS LOAMY SANDS, 0 TO 6 PERCENT SLOPES
- ('K' = 0.15, LOW RISK OF EROSION)

A GEOTECHNICAL / SUBSURFACE EXPLORATION REPORT WAS PREPARED BY HAENGEL & ASSOCAITES (HAE PROJECT No. H-03-109G) DATED APRIL 20, 2003 FOR THE SITE. THE CONTRACTOR SHALL REQUEST A COPY OF ANY SUCH REPORTS THAT MAY BE GENERATED SUBSEQUENT TO THIS PLAN PREPARATION. PRIOR TO THE START OF ANY CONSTRUCTION, AND ABIDE BY ALL ADDITIONAL REQUIREMENTS CONTAINED WITHIN SUCH REPORTS, WHETHER SHOWN ON THESE PLANS OR NOT. ANY DISCREPANCIES BEWTEEN SUCH REPORTS AND THESE PLANS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO

REFERENCE INFORMATION: **UTILITY PLANS:**

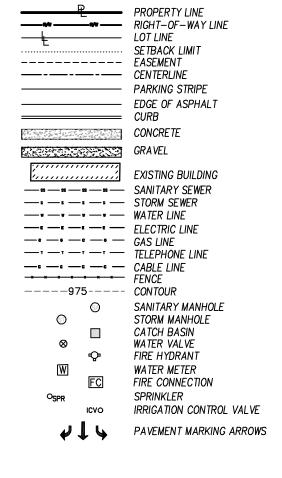
- TOPOGRAPHIC AND BOUNDARY SURVEY BY ENGER - 2/3/2003 - BOUNDARY SURVEY BY KEBS DATED 3/16/2019

MALCH PARCEL A & B NORTH OF THE SUBJECT PROPERTY

ZONING MAP:

- CITY OF LESLIE - 1/30/2007

LEGEND





HUBST HUB SET

Call before you dig

DECIDUOUS TREE

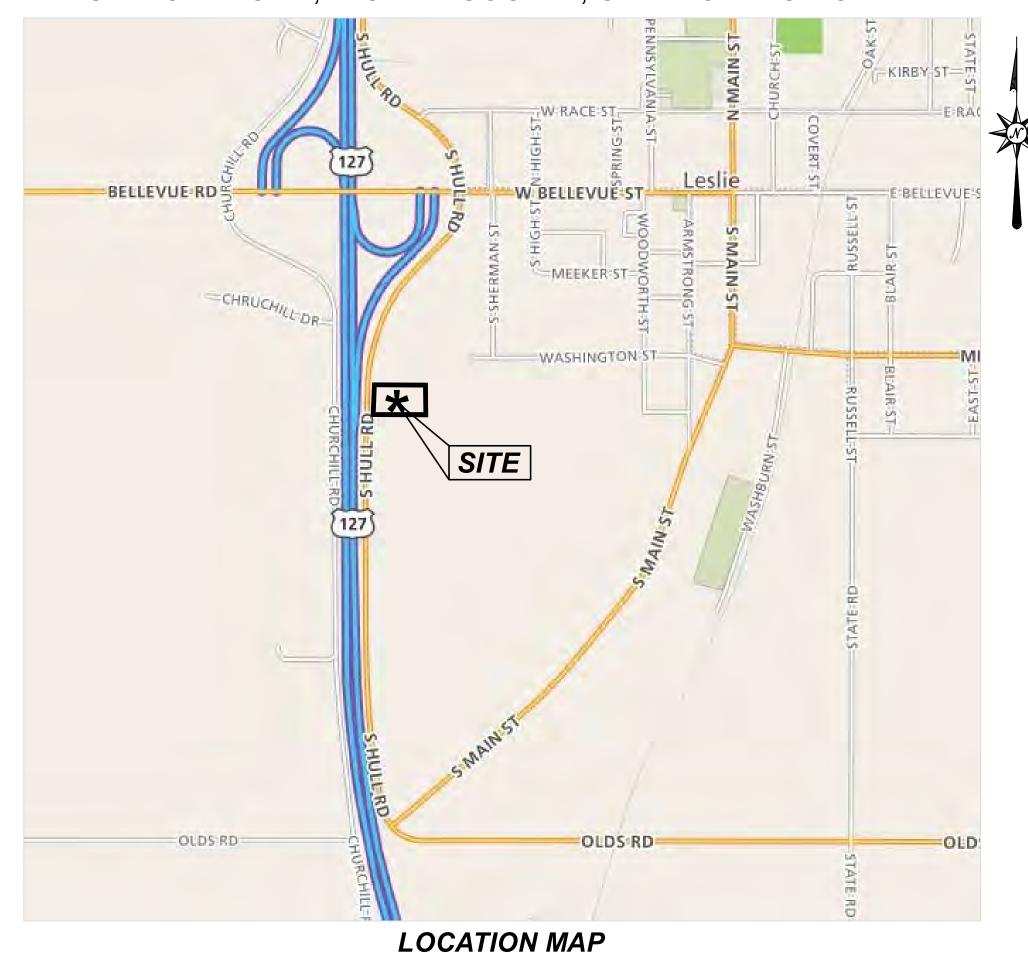
BUSH

SPECIAL USE DEVELOPMENT PLAN LESLIE SELF STORAGE

PARCEL: 33-17-14-28-152-003

BEING A 2.660 ACRE PARCEL PART OF NORTHWEST 1/4 OF SECTION 2

TOWN 1 NORTH, RANGE 1 WEST CITY OF LESLIE, INGHAM COUNTY, STATE OF MICHIGAN



SCALE: 1" = 750'±

SHEET INDEX

- C-1 TITLE SHEET
- C-3 DEVELOPMENT NOTES

C-2 - DIMENSIONAL SITE & GRADING PLAN

- C-4 DEVELOPMENT DETAILS

PHASE II INCLUDES: - TWO (2) STORAGE BUILDINGS WITH PAVED ACCES DRIVE(S)

- UTILIZE EXISTING ACCESS DRIVE TO HULL ROAD

FEET TO THE POINT OF BEGINNING;

THENCE S 89°45'47" E, 443.82 FEET; THENCE S 00°19'39" E, 257.30 FEET;

THENCE N 89°45'47" W, 456.17 FEET;

- EXTEND GRAVEL LOT ON REAR (EAST) PORTION OF THE SITE FOR EXTERIOR STORAGE PHASE III (IF NEEDED) INCLUDES:
- ONE (1) STORAGE BUILDING WITH PAVED ACCES DRIVE(S)

PROPERTY DESCRIPTION:

BEGINNING; SAID PARCEL CONTAINS 2.66 ACRES.

PROJECT DESCRIPTION:

SINGLE ACCESS DRIVE TO SOUTH HULL ROAD.

DEED: JOHNSTON to CENTOFANT (LIBER 3056 PAGE 626)

- UTILIZE EXISTING ACCESS DRIVE TO HULL ROAD
- EXTEND GRAVEL LOT ON REAR (EAST) PORTION OF THE SITE FOR EXTERIOR STORAGE.
- CONSTRUCTION OF A 20'x20' OFFICE AREA & ASSOCIATED PARKING FACILITIES

SANITARY & WATER SERVICES:

PHASE I INCLUDES:

PHASE I INCLUDES: - INSTALLATION OF WATER WELL FOR IRRIGATION OF LANDSCAPE AREAS. MECHANICAL ROOM TO BE LOCATED IN BUILDING #1 ADJACENT TO GATE CONTROLS.

A PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 28, T1N, R1W, CITY OF LESLIE, INGHAM

COMMENCING AT THE NORTHWEST CORNER OF SECTION 28. T1N. R1W. MICHIGAN MERIDIAN: THENCE S 00°19'30" E, ALONG THE WEST SECTION LINE, 1,584.00 FEET; THENCE S 89°45'47" E, 65.33

THENCE N 02°25'21" E, ALONG THE EAST LINE OF MDOT ROW 257.47 FEET TO THE POINT OF

- TWO (2) STORAGE BUILDINGS WITH PAVED ACCES DRIVE(S), PERIMETER SECURITY FENCE AND

- CONSTRUCTION OF DRY DETENTION BASIN TO SERVICE THE ENTIRE 2.66 ACRE DEVELOPMENT

CONSTRUCTION OF A SELF-STORAGE FACILITY LOCATED ON THE 2.66 ACRE PARCEL

- GRAVEL LOT ON REAR (EAST) PORTION OF THE SITE FOR EXTERIOR STORAGE.

COUNTY, MICHIGAN: THE SURVEYED BOUNDARY OF SAID PARCEL BEING DESCRIBED AS

- NO SANITARY SEWER SERVICES
- PHASE II INCLUDES: - NO ADDITIONAL WATER SERVICES OR SANITARY SEWER SERVICES
- PHASE III (IF NEEDED) INCLUDES:
- INSTALLATION OF ON-SITE SEPTIC FIELD FOR OFFICE AREA - CONNECTION TO WELL WATER SYSTEM FOR OFFICE SERVICE.

PARKING SPACES:

PER SEC 98-945 - PUBLIC STORAGE RENTAL FACILITIES

- REQUIRED: 1 SPACE PER TEN STORAGE CUBICLES PROVIDED: 7 SPACES ALONG THE EAST SIDE OF EACH BUILDING
- TOTAL PHASE I & PHASE II = 35 SPACES INCL. 1 HANDICAP
- SPACES: TYPICALLY 10' x 25' PHASE III OFFICE: PROVIDED THREE (3) PARKING SPACES INCL. 1 HANDICAP (VAN ACCESSIBLE)

CURRENTLY AS PART OF PHASE I & PHASE II, THERE IS NO DUMPSTER PROPOSED FOR THE STORAGE FACILITY SITE. TENANTS ARE REQUIRED TO TRANSPORT THEIR OWN GARBAGE / WASTE OFF PREMISES. AS PART OF PHASE III, A ROLL-OFF TRASH CAN WILL BE REQUIRED FOR THE OFFICE AREA.

OVERALL PROJECT INCLUDES REPLACEMENT / IMPROVEMENT OF THE DRIVE CULVERT AT THE PROPOSED ACCESS POINT TO THE FACILITY. SITE TO OUTLET TO ROYSTON DRAIN PER INGHAM COUNTY DRAIN COMMISSIONER REQUIRMENTS. OUTLET WILL CROSS ADJACENT PROPERTY OWNED BY MICHAEL CENTOFANTI (CURRENT PROJECT DEVELOPER). **EXISTING SITE CONDITION:**

VACANT / UNDEVELOPED PROPERTY INCLUDING GRASS AREAS & SEVERAL TREES.

PROPOSED STORM SEWER CONDITION:

THE STORM SEWER OUTLET PIPE ROUTING NORTHEAST TO ROYSTON DRAIN WILL INCLUDE A 12" CULVERT (SUBJECT TO FINAL DESIGN) TO THE COUNTY DRAIN

ENGINEER:

D.R. FREDERICK & ASSOCIATES, INC 4645 NORTH SUMMIT STREET TOLEDO, OHIO 43611 OFFICE: 419-340-2650

ARCHITECT:

CONTACT: DEAN FREDERICK

(NOT DETERMINED AT THIS TIME)



DATE DEAN R. FREDERICK PROFESSIONAL ENGINEER E-48458

OWNER:

MICHAEL CENTOFANTI 903 87TH LANE NW COON RAPIDS, MN 55433

LIGHT POLE

∮ HIGHWAY SIGN

SANITARY MANHOLE

CATCH BASIN

WATER VALVE

FIRE HYDRANT

MAILBOX

BUSH

D.H.S. DRILL HOLE SET

WATER METER

WATER MANHOLE

x 975.00 EXISTING SPOT ELEVATION

STORM MANHOLE

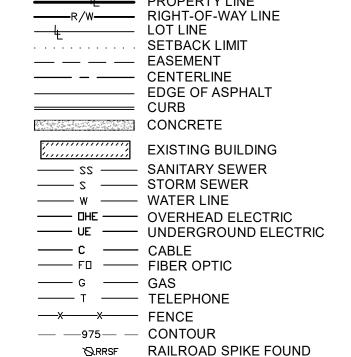
PROPOSED SPOT ELEVATION

CONSTRUCTION SEQUENCE:

THE CONTRACTOR SHALL THOROUGHLY REVIEW THE DETAILED CONSTRUCTION SEQUENCING NOTES, PLANS & APPROVALS PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION.

LEGEND PROPERTY LINE

○ I.P.F.



IRON PIN FOUND

PK NAIL FOUND

O D.H.F. DRILL HOLE FOUND

IRON PIPE FOUND

PINE TREE DECIDUOUS TREE ● I.P.S. IRON PIN SET • P.K.S. PK NAIL SET

☑ HUBST HUB SET

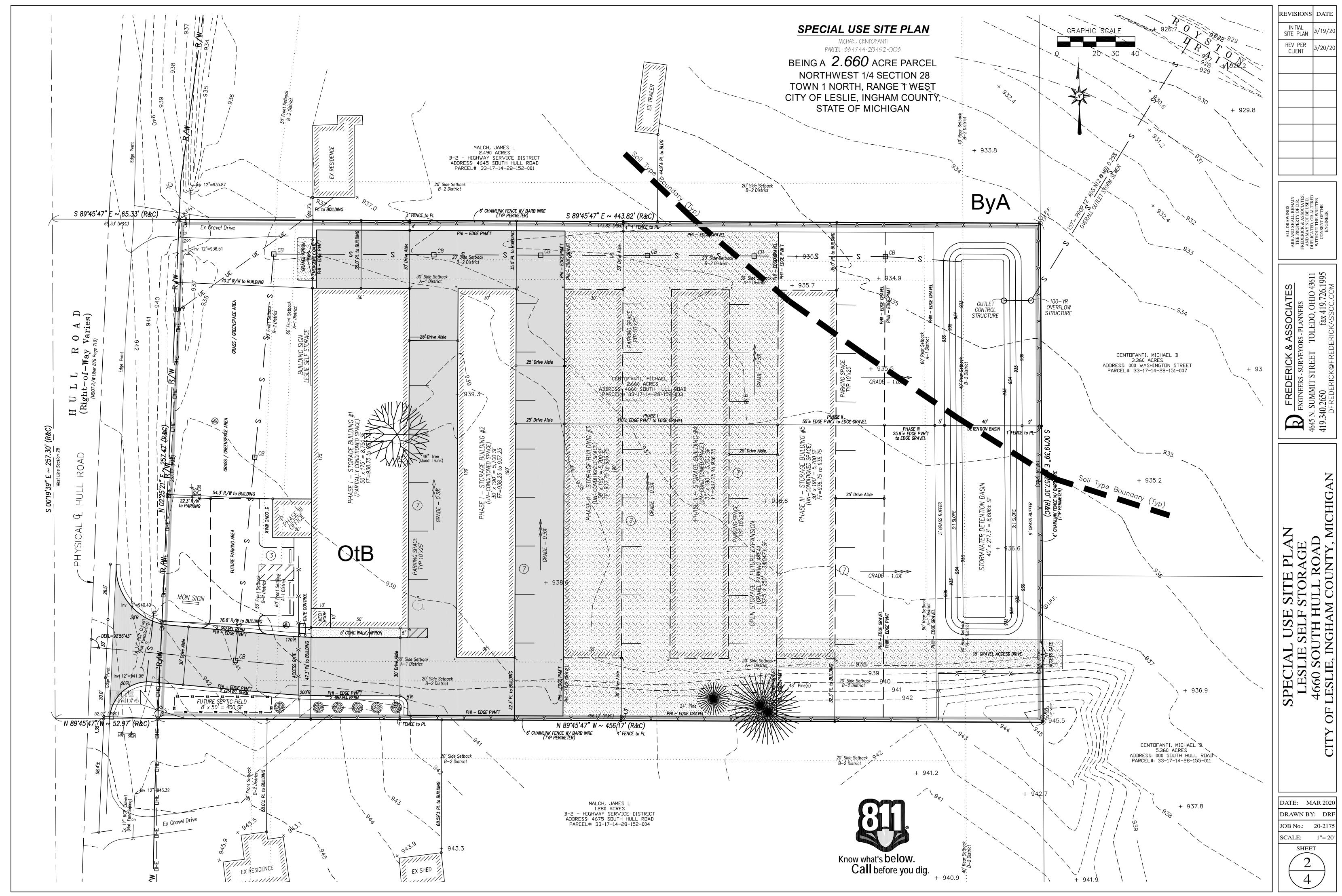
INITIAL SITE PLAN REV PER CLIENT

REVISIONS

FREDERICK SUCINETERS STREET SUMMIT 1.2650

DATE: MAR 2020 DRAWN BY: DRF JOB No.: 20-2175

SCALE: 1'' = 30'SHEET



DEVELOPMENT AREA SUMMARY:

TOTAL SITE AREA = 115,777.5 SF (2.660 ACRE)

PHASE I DEVELOPMENT: BUILDING AREA = 14,450.0 SF (12.5% COVERAGE) CONCRETE AREA = 249.5 SF

ASPHALT AREA = 20,596.3 SF

TOTAL IMPERVIOUS AREA = 35,345.8 SF (30.5% COVERAGE)

GRAVEL AREA = 29,926.1 SF (25.8% COVERAGE) DETENTION BASIN = 8,006.0 SF

GREENSPACE = 50,505.6 SF (43.6% COVERAGE)

PHASE II DEVELOPMENT EXPANSION CONTAINED WITHIN THE PHASE I - GRAVEL AREA BUILDING AREA = 11,400 SF (9.8% COVERAGE) (13.9% COVERAGE) ASPHALT AREA = 16,100 SF GRAVEL AREA = 12,925.0 SF (11.1% COVERAGE)

PHASE III DEVELOPMENT EXPANSION CONTAINED WITHIN THE FRONT GREENSPACE & PHASE II GRAVEL BUILDING AREA = 6,100.0 SF (5.3% COVERAGE)

ASPHALT AREA = 10,400.9 SF (8.9% COVERAGE (5.3% COVERAGE) GRAVEL AREA = 6140.5 SF CONC AREA = 228.0 SF (0.19% COVERAGE)

OVERALL DEVELOPMENT ~ PHASE I + PHASE II + PHASE III BUILDING AREA = 31,950.0 SF (27.6% COVERAGE) CONCRETE AREA = 477.6 SF ASPHALT AREA = 47,097.2 SF TOTAL IMPERVIOUS AREA = 79,524.8 SF (68.7% COVERAGE)

GRAVEL AREA = 6,360.1 SF (5.5% COVERAGE) DETENTION BASIN = 8,006.0 SF

GREENSPACE = 29.892.6 SF (25.8% COVERAGE) (INCLUDES DETENTION BASIN AREA)

SPECIAL USE SITE PLAN

MICHAEL CENTOFANTI PARCEL: 33-17-14-28-152-003

BEING A 2.660 ACRE PARCEL NORTHWEST 1/4 SECTION 28 TOWN 1 NORTH, RANGE 1 WEST CITY OF LESLIE, INGHAM COUNTY, STATE OF MICHIGAN

REV PER CLIENT

REVISIONS

INITIAL SITE PLAN

DATE: MAR 2020 DRAWN BY: DRI JOB No.: 20-2175 SCALE: 1'' = 30'SHEET

GENERAL / DEMOLITION NOTES:

Know what's below.

PROPERTY LINE

SETBACK LIMIT

EDGE OF ASPHALT

SANITARY MANHOL

STORM MANHOLE

CATCH BASIN

WATER VALVE

FIRE HYDRAN1

WATER METER

IRRIGATION CONTROL VALVE

PAVEMENT MARKING ARROWS

───***** ── RIGHT-OF-WAY LINE

———— LOT LINE

----- PARKING STRIPE

CONCRETE

---- EASEMENT

------ CENTERLINE

———— CURB

— ≈ — ≈ — ≈ — SANITARY SEWER

— s — s — s — STORM SEWER

--- --- ELECTRIC LINE

— ¬ — ¬ — ¬ — TELEPHONE LINE

— • — • — • — WATER LINE

—• —• —• — GAS LINE

— CABLE LINE

----975---- CONTOUR

GRAVEL

LEGEND

Call before you dig.

DECIDUOUS TREE

STRAIN POLE W/ BASE

GAS METER

PULL BOX GUY WIRE

MAILBOX

MONUMENT SIGN

HD PARKING SYMBOL

HIGHWAY SIGN

× 975.00 SPOT ELEVATION

O IPF IRON PIN FOUND

△ PKF PK NAIL FOUND

M MON MONUMENT BOX

IPS IRON PIN SET

♠ PKS PK NAIL SET

HUBST HUB SET

DHS DRILL HOLE SET

RRSF RAILROAD SPIKE FOUND

POWER POLE

UE

ELECTRIC METER

TRAFFIC PULL BOX

BOLLARD (VARIABLE SIZE)

UNDERGROUND ELECTRIC DROP

TELEPHONE PEDESTAL

BUSH

1) ALL EXCESS MATERIALS & MATERIALS LABELED "TO BE REMOVED" OR "TBR" SHALL BE TRANSPORTED OFF SITE & DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. ALL COST ASSOCIATED WITH THE EXCAVATION, LOADING, HAULING & DISPOSING OF THE MATERIAL SHALL BE INCLUDED IN THE CONTRACTOR'S BID. 2) ALL EXISTING FEATURES DESIGNATED TO REMAIN THAT ARE DISTURBED DUE TO CONSTRUCTION AND / OR CONTRACTOR'S OPERATION, SUCH AS MAILBOXES, SHRUBS, BUSHES, GUARDRAIL, SIGNS, LIGHTS, DRIVEWAYS, CURBS, SWALES, SEWERS, CATCH BASINS, BERMS, SEEDED AREAS, ETC., SHALL BE REPLACED IN KIND TO THEIR ORIGINAL CONDITION / GRADE IN ACCORDANCE WITH APPLICABLE MDOT AND CITY OF LESLIE SPECIFICATIONS. FURTHER, REPAIR / REPLACEMENT SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND CITY. REPAIR / REPLACEMENT OF THESE ITEMS SHALL BE AT THE CONTRACTOR'S EXPENSE.

3) CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANY/ALL LANE CLOSURES, PARKING CLOSURES AND/OR TRAFFIC ISSUES WITH THE ENGINEER, OWNER & CITY.

4) THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, TYPE AND MATERIAL, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. ANY CONFLICTS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR DISCUSSION PRIOR TO CONSTRUCTION. 5) THE CONTRACTOR SHALL CALL 811, A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES. 6) CONTRACTOR SHALL CONDUCT A THOROUGH SITE INSPECTION PRIOR TO BIDDING TO VERIFY LIMITS OF PROJECT & DEMOLITION. COORDINATE BID ITEMS WITH THE DEVELOPER AND ENGINEER.

7) THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND DURING HIS INVESTIGATION OF THE EXISTING SITE

8) THE CONTRACTOR SHALL FOLLOW ALL STATE, COUNTY, CITY AND ANY OTHER

LOCAL SAFETY REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION OF THIS

9) ALL PARKING, DRIVEWAY AND ROADWAY PAVEMENT REMOVALS SHALL BE CUT WITH NEAT LINES BY USE OF A POWER CARBORUNDUM SAW, 6 INCHES BEHIND THE PROPOSED CURB LINE AND/OR MATCHLINE, TO A MINIMUM DEPTH OF THE EXISTING PAVEMENT SECTION. REMOVAL SHALL BE MADE ONLY TO THE EXTENT APPROVED BY

REMOVAL / DEMOLITION DATA:

A EX CULVERT REMOVAL & REPLACEMENT INCLUDING DITCH GRADING PER APPROVED CONSTRUCTION PLANS

(B) GUY WIRE RELOCATION - COORDINATE WITH UTILITY PROVIDER

© SIGN REMOVAL

D 1 EACH - 48" TREE REMOVAL

(E) 3 EACH - 24" & 48" PINE(S) REMOVAL

(E) GENERAL TREE CLEARING & GRUBBING INCLUDING REMOVAL OF STUMPS

1) SEE CONSTRUCTION SEQUENCE NOTES ON SHEET C-1 FOR DETAILS & OWNER RECOMMENDATIONS. 2) STORM SEWER REPAIR AND/OR REPLACEMENT / DITCH GRADING SHOULD BE ANTICIPATED FOR THE SOUTH HULL ROAD FRONTAGE AS PART OF THE PROJECT.

GENERAL NOTES:

NOTED. 2) SITE CONSTRUCTION SEQUENCE SHALL BE COORDINATED WITH THE OWNER,

THOROUGHFARES AT ALL TIMES THROUGHOUT CONSTRUCTION. 4) CONTRACTOR SHALL NOT SCALE ANY DIMENSIONS FROM THE PLANS. ANY

QUESTIONS AND/OR CLARIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO BIDDING AND/OR CONSTRUCTION. 5) CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE OVER

GRADING ISSUES WITH THE DEVELOPER AND ENGINEER PRIOR TO THE COMMENCING THE WORK.

8) A MINIMUM 18" OF VERTICAL CLEARANCE SHALL BE MAINTAINED AT ALL UTILITY CROSSINGS.

1) ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT, UNLESS OTHERWISE

ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION. 3) CONTRACTOR SHALL MAINTAIN TRAFFIC ALONG PUBLIC STREETS AND

THE SURFACES OF THE PROJECT TO THE STORM SEWER SYSTEM. COORDINATE ANY

6) REFER TO THE STANDARD DETAIL SHEETS FOR ADDITIONAL PLAN SPECIFICATIONS, PAVEMENT SECTIONS, DETAILS, ETC. 7) STANDARD PARKING STRIPING SHALL BE CONTINUOUS 4" YELLOW STRIPES.

HANDICAP PARKING STRIPING SHALL BE 4" WIDE BLUE PAINT MEETING LOCAL REQUIREMENTS.

THE OWNER AND THE CITY OF LESLIE, AS APPLICABLE.

SPECIAL USE PLAN - SELF STORAGE FACILITY

GENERAL NOTE

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS OF THE CITY OF LESLIE, INGHAM COUNTY AND TO THE SPECIFICATIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION. CONTRACTOR SHALL OBTAIN COPIES OF ALL APPLICABLE STANDARDS PRIOR TO CONSTRUCTION.

ALL TRAFFIC CONTROL DEVICES, SIGNS AND MARKINGS SHALL CONFORM TO THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

CONTRACTOR SHALL COMPLY WITH ALL SEASONAL WEIGHT RESTRICTIONS ON PUBLIC ROADS DURING WINTER & SPRING CONSTRUCTION

PROJECT NOTES

ANY DAMAGE CAUSED BY THE CONTRACTOR'S EQUIPMENT TO THE ADJACENT ROADWAYS AND DRIVEWAYS, SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE DEVELOPER OR ANY GOVERNMENTAL AGENCIES.

UNDERGROUND UTILITIES

THE LOCATION OF THE UNDERGROUND UTILITIES INCLUDING SERVICE TAPS SHOWN ON THE PLANS ARE BASED ON RECORD PLANS AND A TOPOGRAPHIC SURVEY BY ENGER SURVEYING. IT IS BELIEVED THAT THEY ARE ESSENTIALLY CORRECT, BUT NEITHER THE "UTILITY OPERATOR" NOR D.R. FREDERICK & ASSOCIATES, LLC. GUARANTEES THEIR ACCURACY OR COMPLETENESS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE EXISTING UTILITIES PRIOR TO LAYING ANY PROPOSED CONDUIT.

IN THE EVENT UNDERGROUND UTILITY FACILITIES ARE NOT LOCATED IN THE FIELD ACCORDING TO UTILITY LOCATION INFORMATION PROVIDED ON THESE PLANS. THE "UTILITY OPERATOR" OR D.R. FREDERICK & ASSOCIATES, LLC WILL NOT BE HELD LIABLE FOR ADDITIONAL COSTS RELATING TO ALTERNATE METHODS OF CONSTRUCTION, OR COSTS RELATING TO CONTRACTOR PERSONNEL AND EQUIPMENT DOWNTIME.

THE CONTRACTOR SHALL BE REQUIRED TO CONTACT THE OWNERS OF UNDERGROUND UTILITY FACILITIES SHOWN ON THE PLANS AND SPECIFICATIONS. SUCH NOTICE SHALL BE MADE AT LEAST THREE (3) WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS.

RECONNECTION OF EXISTING SERVICE LINES, WHICH ARE DISTURBED OR DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE BY THE CONTRACTOR AT NO COST TO THE DEVELOPER, TOWNSHIP OR UTILITY OPERATOR. THE CONTRACTOR IS ADVISED TO EXERCISE DUE CAUTION WHEN WORKING IN AREAS LIKELY TO CONTAIN UTILITY SERVICE CONNECTIONS SO AS TO AVOID DISTURBING OR DAMAGING SUCH CONNECTIONS.

TORM SEWER CONNECTION

ALL STORM SEWER SHALL BE CONSTRUCTED TO THE SPECIFICATIONS OF THE CITY OF LESLIE, INGHAM COUNTY DRAIN COMMISSIONER AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION, INCLUDING BUT NOT LIMITED TO MATERIALS, STANDARD DETAILS AND INSTALLATION REQUIREMENTS.

ALL PAVEMENT REPLACEMENT RESULTING FROM STORM SEWER CONSTRUCTION WILL BE PER THE SAME PAVEMENT COMPOSITION AS THE APPLICABLE TYPICAL SECTION FOR THAT AREA. THE COST FOR PAVEMENT REPLACEMENT SHALL BE INCLUDED IN THE PRICE BID FOR STORM SEWER CONSTRUCTION

THE CONTRACTOR SHALL SO CONDUCT HIS OPERATIONS SO THAT THE FLOW OF ALL SEWERS WHICH ARE TO REMAIN IN SERVICE SHALL BE MAINTAINED AT ALL TIMES. ANY ADDITIONAL COST OF LABOR INVOLVED IN MAINTAINING THIS FLOW, BY PUMPING OR ANY OTHER APPROVED METHOD, SHALL BE INCLUDED IN THE PRICE BID FOR THE APPROPRIATE CONTRACT ITEM.

THE PRICE BID FOR CONDUIT SHALL INCLUDE, BUT IS NOT LIMITED TO: CLEARING AND GRUBBING, THE REMOVAL OF AND/OR REPLACEMENT OF EXISTING PAVEMENT, SIDEWALKS, DRIVEWAYS, STORM SEWERS, PIPE SPECIALS, AS WELL AS ALL OTHER ITEMS NECESSARY FOR PLACING THE CONDUIT. SAID SHALL BID MAY ALSO INCLUDE THE COST FOR CONNECTING THE CONDUIT TO AN EXISTING CATCH BASIN OR MANHOLE, AS APPLICABLE PER PLAN.

OUST CONTRO

THE CONTRACTOR SHALL KEEP ALL PUBLIC ROADS AND DRIVES CLEAN WITHIN THE PROJECT LIMITS TO THE SATISFACTION OF THE CITY OF LESLIE. ALL HAUL ROADS SHALL BE KEPT FREE FROM DUST AND DIRT. IF THEY ARE NOT MAINTAINED TO THE SATISFACTION OF THE CITY / ROAD COMMISSION, THEY SHALL REQUIRE THE CONTRACTOR TO USE MECHANICAL CLEANING EQUIPMENT TO REMOVE DUST AND PARTICLES FROM THE ROADWAY SURFACE AND MINIMIZE THE CHANCE OF SUCH PARTICLES BECOMING AIR-BORNE.

RESTORATION

ALL EXISTING FEATURES DESIGNATED TO REMAIN THAT ARE DISTURBED DUE TO CONSTRUCTION, SUCH AS MAILBOXES, SHRUBS, BUSHES, GUARDRAIL, DRIVEWAYS, SWALES, SEWERS, CATCH BASINS, BERMS, SEEDED AREAS, ETC., SHALL BE REPLACED IN KIND TO THEIR ORIGINAL CONDITION IN ACCORDANCE WITH APPLICABLE MDOT SPECIFICATIONS, AND TO THE SATISFACTION OF THE CITY OF LESLIE AND THE OWNER. PAYMENT FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR THE RESPECTIVE WORK ITEM.

INSPECTIO

CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS WITH THE CITY, COUNTY & STATE PRIOR TO THE START OF CONSTRUCTION.

UTILITY PLAN NOTES

1. ALL PROPOSED PIPE SLOPES SHOWN ON PLAN ARE TO BE MINIMUM SLOPES UNLESS OTHERWISE INDICATED.

2. PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY LOCATION, DEPTH AND SIZE OF ALL EXISTING UTILITIES WHICH ARE TO BE CONNECTED TO AND/OR REROUTED AS PART OF THIS CONTRACT. THE EXISTING STORM SEWER SHALL BE VERIFIED PRIOR TO ORDERING ANY PROPOSED STRUCTURES. COORDINATE ALL INFORMATION WITH THE OWNER AND ENGINEER.

3. THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICE (ELECTRIC, TELEPHONE, WATER, SANITARY, STORM, GAS, ETC.) WITHOUT NOTIFYING ALL AFFECTED TENANTS AND PROPERTY OWNER 72 HOURS PRIOR TO CONSTRUCTION.

4. ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED. ROOF DRAINS SHALL BE CONNECTED TO THE UNDERGROUND STORM SEWER OR SPLASHED INTO THE LOT UNLESS OTHERWISE NOTED.

5. WHERE THE PLANS PROVIDE FOR A PROPOSED CONDUIT TO BE CONNECTED TO, OR TO CROSS EITHER OVER OR UNDER AN EXISTING CONDUIT, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LINE AND GRADE OF THE EXISTING CONDUIT BEFORE STARTING CONSTRUCTION.

6. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO MAINTAIN SANITARY AND STORM SEWER FLOWS AT ALL TIMES AND SHALL PROMPTLY REPLACE IN KIND ANY SEWERS DISTURBED BY CONSTRUCTION TO THE SATISFACTION OF THE UTILITY OWNER. THE COST OF MAKING INSPECTIONS AND ANY REPAIRING OR CORRECTING OF SEWERS AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

RADING PLAN NOTES

1. ALL PROPOSED GRADES SHOWN ON PLAN ARE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED. WHERE TWO GRADES ARE SHOWN, THE TOP GRADE REPRESENTS TO TOP OF CURB / CONCRETE AND THE BOTTOM GRADE REPRESENTS THE ASPHALT PAVEMENT ELEVATION.

2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN AND REVIEW ANY/ALL GEOTECHNICAL REPORT(S) FROM THE OWNER, FOR FURTHER RECOMMENDATIONS ABOVE & BEYOND THOSE SHOWN ON THESE PLANS. COORDINATE ANY DISCREPANCIES AND/OR QUESTIONS WITH THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION.

3. CONTRACTOR SHALL MATCH EXISTING GRADE AT LIMITS OF FULL DEPTH REPLACEMENT AND EDGE OF PAVEMENT.

4. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE POSITIVE DRAINAGE FROM ALL SURFACES, BOTH PROPOSED AND EXISTING, TO THE STORM SEWER SYSTEM AFTER COMPLETION OF CONSTRUCTION.

AERIAL UTILITIES

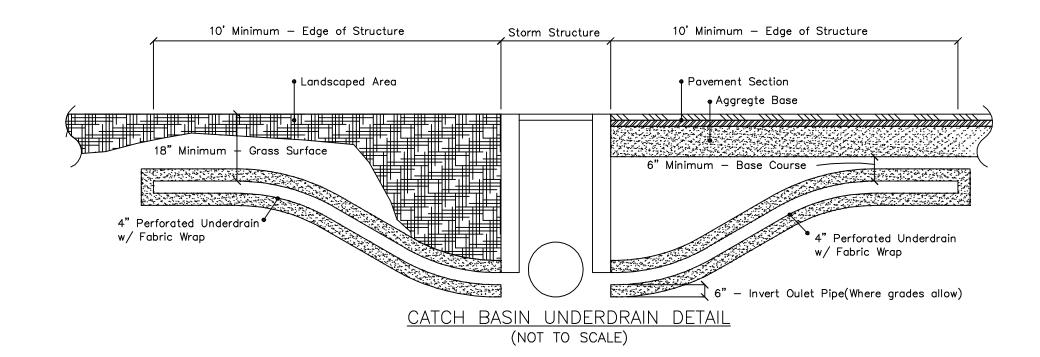
VARIOUS PRIMARY AERIAL LINES ARE LOCATED IN THE PROJECT AREA. THE CONTRACTOR SHALL NOTIFY THE UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING WORK IN ORDER THAT THESE LINES MAY BE PROTECTED IF NECESSARY.

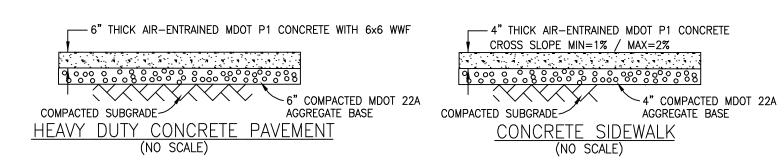
REMOVALS

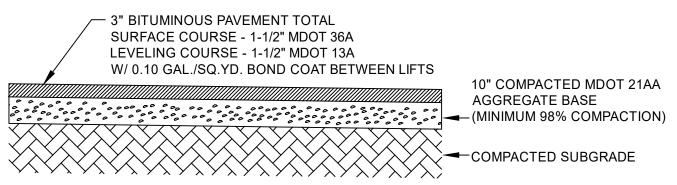
ALL DRIVEWAY AND ROADWAY PAVEMENT REMOVALS SHALL BE CUT WITH NEAT LINES BY USE OF A POWER CARBORUNDUM SAW, 6 INCHES BEHIND THE PROPOSED CURB LINE AND/OR MATCHLINE, TO A MINIMUM DEPTH OF THE EXISTING PAVEMENT SECTION. REMOVAL SHALL BE MADE ONLY TO THE EXTENT APPROVED BY THE OWNER AND THE CITY OF LESLIE, AS APPLICABLE.

SITE & SUBGRADE PREPARATION

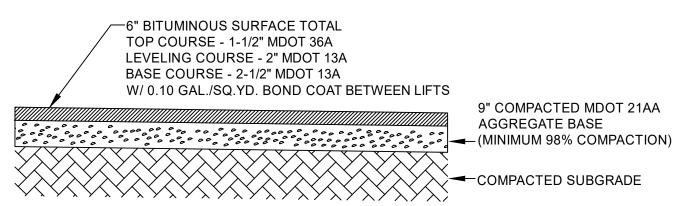
A GEOTECHNICAL REPORT WAS NOT AVAILABLE FOR THE SITE AT THE TIME OF PLAN PREPARATION. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL REQUEST A COPY OF ANY/ALL GEOTECHNICAL REPORT(S)FROM THE OWNER & ARCHITECT, AND ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THIS REPORT, WHETHER SHOWN ON THESE PLANS OR NOT.







STANDARD DUTY ASPHALT PAVEMENT CROSS-SECTION FOR USE IN PROPOSED SELF-STORAGE FACILITY (NOT TO SCALE)

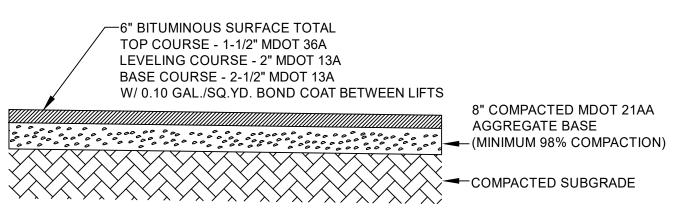


HEAVY DUTY ASPHALT PAVEMENT CROSS-SECTION

FOR USE IN SELF-STORAGE FACILITY

(REFERENCE CROSS-SECTION FOR INGHAM COUNTYROAD)

(NOT TO SCALE)



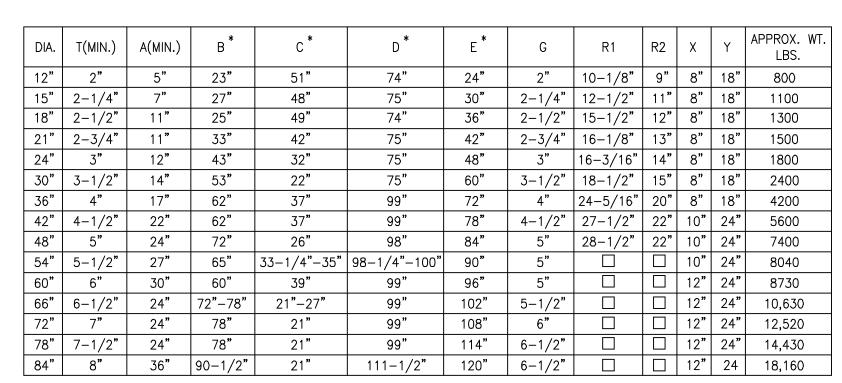
HEAVY DUTY ASPHALT PAVEMENT CROSS-SECTION

FOR USE IN HULL ROAD R/W

(REFERENCE CROSS-SECTION FOR INGHAM COUNTYROAD)

(NOT TO SCALE)

AGGREGATE BASE NOTE:
AGGREGATE BASE MATERIALS SHALL BE COMPACTED PER SECTION 302 OF THE 2012 MDOT STANDARD SPECIFATIONS FOR CONSTRUCTION.



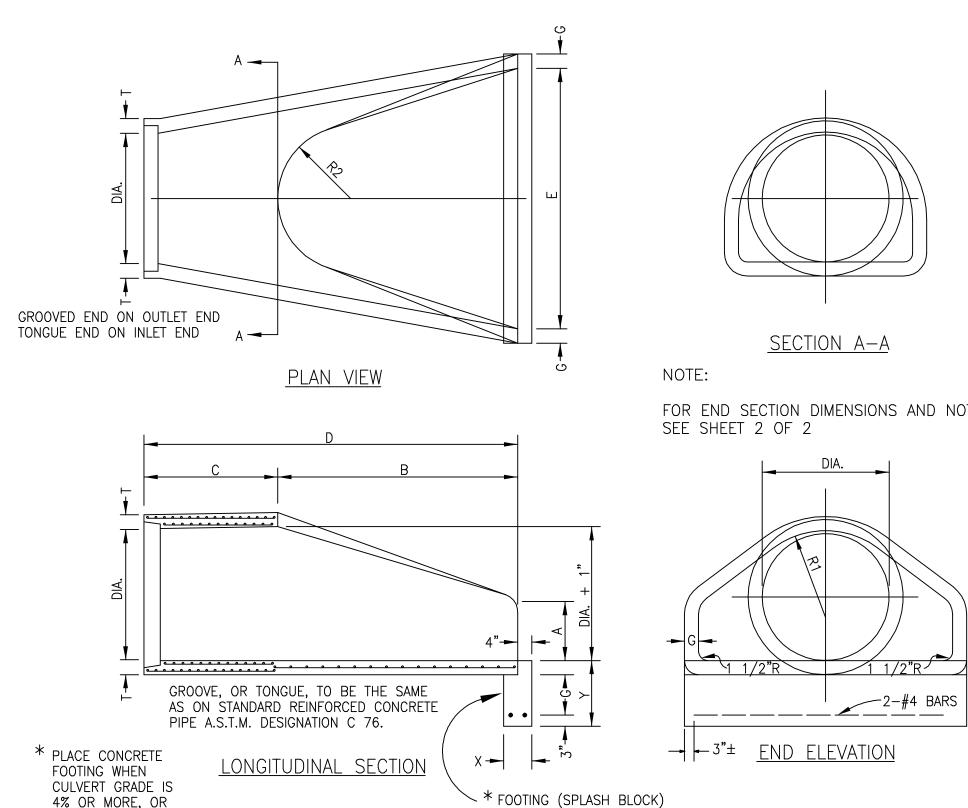
* TOLERANCE ± 1"

WHEN CALLED FOR

ON ROAD PLANS

☐ RADIUS AS FURNISHED BY THE MANUFACTURER

WEIGHT SHOWN DOES NOT INCLUDE CONCRETE FOOTING



PRECAST CONCRETE FLARED END SECTION

(REF. MDOT DETAIL IV-86C)

PAVEMENT SECTION PER PLAN

24" MDOT
(OR PER R

TENSAR VX-

CONTINGENCY ITEM

24" MDOT 4AA COARSE AGGREGATE
(OR PER RECOMMENDATION OF GEOTECHNICAL ENGINEER)
TENSAR VX-1300 GEOGRID

IN AREAS OF THE PROPOSED PAVEMENT THAT REQUIRE UNDER-CUTTING BASED ON RESULT OF PROOF-ROLLING OR RECOMMENDATIONS FROM THE GEOTECHNICAL INVESTIGATION, THE CONTRACTOR MAY USE THE SECTION PROVIDED. THIS IS SUBJECT TO THE EXCAVATION DEPTH REQUIRED FOR REMOVAL OF THE POOR SOILS. CONTRACTOR SHALL PROVIDE A UNIT COST FOR THE FOLLOWING:

— UNDERCUT EXCAVATION = PER CY

- GEOGRID TENSAR VX-1300 (OR APPROVED EQUAL) = PER SF - MDOT 4AA COARSE AGGREGATE = PER CY COSTS SHALL INCLUDE EXCAVATION AND PLACEMENT OF MATERIAL IN THE UNDERCUT VOLUME TO THE ELEVATION OF THE SUBGRADE FOR THE PAVEMENT SECTION. PAVEMENT UNDER-CUTTING DETAIL PECIAL USE SITE PLAN
LESLIE SELF STORAGE

STREET

REVISIONS DATE

INITIAL

SITE PLAN

REV PER

CLIENT

DATE: MAR 2020
DRAWN BY: DRF
JOB No.: 20-2175
SCALE: 1"= 30'
SHEET



CITY OF LESLIE

602 W. Bellevue • P.O. Box 496 • Leslie, MI 49251-0496 Phone: 517-589-8236 • Fax: 517-878-6868 • Web Site: www.cityofleslie.org

NOTICE VIRTUAL PUBLIC HEARING CITY OF LESLIE RESIDENTS

PLEASE BE NOTIFIED, that there will be a VIRTUAL PUBLIC HEARING held:

Leslie City Planning Commission meeting

Date: December 23, 2020

Time: 6:00 PM

Place: Leslie City Hall - Virtual Meeting

602 W. Bellevue Street

Leslie, MI 49251

Purpose of this public hearing is to consider the following application for Special Use:

CASE NO. 2020-SU-03: Michael and Annalise Centofanti, Applicants, requests a special use permit at 0 Hull Road, Leslie, MI 49251 to construct and operate an outdoor storage facility.

Property Location: 0 S. Hull Road

Tax Parcel No.: 33-17-14-28-152-003

LSV-434-4 BEG @ A PT 1584 FT SOF NW COR SEC 28 -S 257.3 FT -E 509.14 FT -N 257.3

FT -W 509.14 FT TO POB SEC 28 T1NR1W CITY OF LESLIE 2.68A

Current Zoning: A-1 Agricultural District

Leslie City Council will review Special Use Permit No. 2020-SU-03 at its virtual meeting held Tuesday, January 19, 2021 at 7:00 PM at Leslie City Hall 602 W. Bellevue St., Leslie, MI 49251 and offer the final determination.

Additional details may be examined at the Leslie City Offices, 602 W. Bellevue Street, Leslie, MI 49251, during regular business hours, Monday – Friday 8:00 am – 4:30 pm.

Public comment will be accepted regarding this application at the virtual public hearing conducted by the Leslie City Planning Commission on Wednesday, December 23, 2020 at 6:00 pm and at a virtual meeting of the Leslie City Council Meeting on Tuesday, January 19, 2021 at 7:00 pm. Written comments will be accepted at Leslie City Offices P.O. Box 496 Leslie, MI 49251.

THIS NOTICE IS SENT TO ALL PROPERTY OWNERS OF RECORD, FOR PROPERTY WITHIN 300 FEET OF ANY PORTION OF THE APPLICANT'S PROPERTY.

Chelsea Cox, Leslie City Clerk City of Leslie

This institution is an equal opportunity provider and employer.

CITY OF LESLIE NOTICE OF ELECTRONIC MEETING REGULAR MEETING OF THE LESLIE PLANNING COMMISSION WEDNESDAY, DECEMBER 23, 2020 AT 6:00 PM

Purpose of Meeting

Regular meeting of the Leslie Planning Commission.

Reason for Electronic Meeting

Public Act 228 of 2020 amends the Open Meetings Act granting authorization of remote participation in public meetings and hearings using electronic methods. The City of Leslie must allow for two-way communication during its meetings, so that public participants can hear members of the public body and can be heard by members of the public body and other participants during a public comment period. To protect the public health, safety, and welfare and comply with Center for Disease Control and Prevention recommendations, local governing bodies may meet remotely and electronically.

Public Participation Instructions

Members of the public may view the meeting live at:

https://cityofleslie.webex.com/cityofleslie/onstage/q.php?MTID=e0460624f9df22260b375873f38c313ce

Or Dial In: 1-415-655-0001 and follow prompts.

Members of the public may submit comments to be read aloud by the City Manager during public comment by e-mailing comments (Include your full name and address) in advance of the meeting to manager@cityofleslie.org or during the public comment portion of the meeting by submitting your full name, address, and comment on the live stream of the meeting. Comments should be limited to no more than three minutes. A broadcast of the meeting will also be available within eight business days on the City of Leslie website at www.cityofleslie.org.

Public Input and Questions on Business before the Leslie Planning Commission Regular Meeting

Members of the public may contact the City Manager to provide input or ask questions regarding the Planning Commission meeting by e-mail at manager@cityofleslie.org.

Persons with Disabilities Participation Instructions

The City of Leslie will provide reasonable accommodations to individuals with disabilities who want to electronically attend the meeting with twenty-four (24) hour notice to the City of Leslie.