



CITY OF LESLIE

602 W. Bellevue • P.O. Box 496 • Leslie, MI 49251-0496
Phone: 517-589-8236 • Fax: 517-878-6868 • Web Site: www.cityofleslie.org

AGENDA

LESLIE CITY PLANNING COMMISSION SPECIAL MEETING
6:00 P.M., WEDNESDAY, MARCH 14, 2021
LESLIE CITY HALL, 602 W. BELLEVUE STREET, LESLIE

ON THE AGENDA:

1. **Meeting called to order by Chair. Roll Call.**
2. **Pledge of Allegiance.**
3. **Approve the Agenda.**
4. **Public Comment** - Non-Agenda Items that cannot be handled during business hours.
5. **Public Hearing:** None.
6. **Items of Business:**
 - a. Site Plan Review – Luxx, LLC Phase 1 of Development for a Medical Marihuana Grow Facility.
 - b. Sign Application – 714 Mill, Leslie Estates.
7. **Items of Discussion:** None.
8. **Motion to Adjourn the Meeting.**

Next planning commission meeting is **March 24, 2021** at 6:00 pm.

A handwritten signature in black ink that reads "Chelsea Cox".

Chelsea Cox
Leslie City Clerk

CITY OF LESLIE PLANNING COMMISSION STAFF REPORT

DATE: April 12, 2021
TO: Planning Commission
FROM: Susan Montenegro, City Manager and Zoning Administrator
SUBJECT: Site Plan Request – Luxx, LLC. Phase 1 – A 5.5925 acre parcel in the Business Park.

Background & Building Information

Lux, LLC, has submitted a site plan review request for a 5.59 acre parcel in the Industrial Park. The intent is to place a 10,000 square foot Medical Marihuana Grow Facility on the front portion of this parcel abutting Rice Road.

Zoning and Zoning Use

	CURRENT LAND USE	ZONING
Site	Vacant	M-1
North	Industrial - Vacant	M-1
South	Township	Agricultural
East	Industrial	M-1
West	Industrial	M-1

	REQUIRED	EXISTING	PROPOSED
Zoning	M-1	M-1	No change
Gross Lot Area	vacant	5.5925 acres = 24,609.3 sq ft	No change
Max. Height of Structure	---	---	17.6'
Setbacks – Front Yard Side Yard Rear Yard	35' 30' 30'	--- --- ---	79.5' 20' E. side 39' W. side Well within required setback
Parking	1 space for every 2 employees for industries using 2 or more shifts; 1 space for every 3 employees for industries using 1 shift only; or 1 space for every 400 square feet of gross floor area, whichever is greater	None	46 with 3 handicap parking spots

Principal Uses Permitted

Per Section 19.31 of the Leslie Code of Ordinances, Medical Marihuana grow facilities are subject to the following conditions:

- (B) All Medical Marihuana Safety Compliance Facilities, Medical Marihuana Processor Facilities, Medical Marihuana Grower Facilities and Medical Marihuana Secure Transporter Facilities shall be subject to subsection (A) and shall be limited to the M-1 Industrial Districts as provided by the zoning provisions of the Leslie Codified Ordinances, Chapter 98- Zoning, Article V. District Requirements, Division 7.- M-1 Industrial Districts.

- (C) All Medical Marihuana Safety Compliance Facilities, Medical Marihuana Processor Facilities, Medical Marihuana Grower Facilities and Medical Marihuana Secure Transporter Facilities shall be subject to the established Covenants of the Industrial Park if the Licensed Facility is located in the Industrial Park.

Off-Street Parking

61 parking spaces are indicated on the site plan, with three (3) of those spaces designated as handicap accessible. The size of the proposed building equals 10,000 square feet and would require 25 parking spaces. The number of parking spaces required are more than adequate. Off-street parking is allowed in the front yard setback but must be 20' from the property line. Parking as shown meets this requirement.

Loading Space

One loading space is indicated and complies with requirements.

Outdoor Storage

No outdoor storage is indicated on the plan.

Waste Material

One fenced dumpster area is indicated on site plan on the southwest corner of the building.

Utilities and Mechanical Equipment

Plan states all utilities will be installed underground but. Plan states screening of mechanical equipment installed on rooftops of buildings will be architecturally screened. Sanitary and water are indicated on the north side of the building.

Surface Water

Arrows on site plan indicate flow patterns toward four catch basins in the parking area and lead to an outlet in the road ditch. Plan indicated this area in the road ditch will be covered with rip-rap. Building downspouts are indicated on the plan with attachment to the catch basins. A bioswales or detention/retention pond is indicated on site plan if required by Ingham County Drain Commission.

Building Construction

Building will consist of metal finishes.

Landscaping

Plan indicates landscaping will be done in future development plan.

Easement

A 12' utility easement is recorded along the property edges on the north, east and west portions.

Signs

Plan states a building mounted sign will be applied for separately from the site plan.

Fences and Walls

Fencing is shown around the perimeter of the project on the site plan.

Staff Recommendations

Staff recommend approval of site plan at the planning commission level and forwarding to City Council for legislative approval with the following conditions:

1. That construction of proposed building will require a building permit and full construction plans.
2. Ingham County Drain Commission approval needed for drainage to road ditch and determination if a bioswale or detention pond are indicated.
3. Any signs will require a sign permit.
4. Any fence installation will require a fence permit.

Motion by _____, seconded by _____, to approve the site plan with the four conditions listed above for a 10,000 square foot medical marihuana grow facility located in the Business Park as depicted on the plan submitted by Sermed Saif, PE of Tri-County Engineering Consultants, last dated 4/8/2021.

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Declaration of Restrictions

The City of Leslie, Michigan, owner of the real property designated as the Leslie Business Park and the Leslie Local Development Finance Authority (LDFA), developer of the real property designated as the Leslie Business Park, a description of which is attached as Exhibit A, hereby make the following declaration of limitations and restrictions on said real property, and hereby specify that such declarations shall constitute covenants to run with the land and which shall bind all parties obtaining interest in said property, their successors and assigns, for the benefit of and limitations of all persons who obtain an interest in said real property. This declaration of restrictions is designed for the purpose of keeping the Leslie Business Park desirable, uniform, and suitable in use and architectural designs.

1. **Definitions.** Terms shall be defined as indicated in the City of Leslie Zoning Ordinance or as indicated below:

"Building Site" - shall mean any lot or portion thereof upon which a building or buildings and appurtenant structures may be erected in conformance with the requirements of the covenants.

"Finished Material" - face brick, glass, colored metal with permanent baked-on finish, concrete, ornamental stone or other decorative material, and shall not include concrete or cinder blocks, whether or not painted, unless such blocks are designed especially as ornamental facing or veneer, and wood if approved by the Grantors.

"Grantee" - shall mean any person, natural or otherwise, who takes or obtains any real or personal property interest from Grantor with respect to any part of the above-described land or improvements thereon.

"Grantor" - shall mean the City of Leslie Local Development Finance Authority, its successors and assigns, or any person or persons designated by the City of Leslie as having authority to act for the City with respect to these restrictive covenants and conditions.

"Improvements" - shall mean and include any industrial building or buildings, out buildings appurtenant thereto, parking areas, loading areas, fences, walls, hedges, lawns, plantings, and any other structures of any type or kind located above the ground.

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2. **Primary Intended Use.** The Leslie Business Park shall be used for manufacturing and industrial operations, which may include the manufacture of goods or materials or the processing of goods or materials by physical or chemical change, Agricultural processing or any eligible property use permitted under The Local Development Financing Act, being Act 281 of 1986. The types of uses permitted in the industrial park are set forth in the Industrial Zone of the City of Leslie Zoning Ordinance; said sections being hereby expressly incorporated hereto as and made a part of these restrictive covenants and conditions; provided further, however, that the following uses are expressly prohibited:
- a. Residential Construction.
 - b. Retail and Business/Commercial Purposes (other than a wholesale operation in conjunction with the primary authorized use).

Public or private dumps, incinerators, sanitary landfills, junk yards, sewage treatment and disposal installations are authorized by special use permits within the industrial park. Such uses carry additional site development requirements from the City's Zoning Ordinance. Any other use causing obnoxious fumes, smoke, noise, and/or unsightly appearance within the Business Park are prohibited.

3. **General Restrictions.**

- a. All buildings shall be constructed in accordance with applicable codes and ordinances of the City of Leslie.
- b. **Off-Street Parking** - Each owner must provide adequate off-street parking facilities so as to eliminate any necessity for the parking of vehicles upon the public streets within the park. One space shall be provided for every 2 employees for industries using 2 or more shifts, 1 space for every 3 employees for industries using 1 shift, or 1 space for every 400 square feet of gross floor area, whichever is greater. Parking shall not be permitted in set back areas, except that parking may be provided in front of set backs but not closer than twenty (20) feet from the property line. All driveways and parking areas shall be paved with Portland concrete, bituminous concrete, or bituminous aggregate surfacing to provide a dust free, all-weather surface. Sidewalks and walkways will be constructed of concrete. The parking areas and driveways shall be surfaced within one (1) year of the date of occupancy of the building.
- c. **Loading Space** - All provisions for the loading, maneuvering, and unloading of motor vehicles incidental to the operation of the business shall be placed on the lot. On-street motor vehicle loading and unloading shall not be permitted. Off-street loading areas shall be located on those sides of a building which do not front on a street. On corner lots where it is necessary for a loading area to be located on the

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side of a building fronting a street, the building must be set back from the property line at least fifty (50) feet on that side. For each 20,000 square feet of building space, one space be created which, at a minimum, shall be 12 feet wide, 25 feet long, and 14 feet high. Building owners are encouraged to screen loading areas from street visibility through the use of trees, shrubbery, fences, etc. Loading areas shall be paved with concrete, asphalt, or other hard surface material.

- d. **Outdoor Storage** - Outdoor storage of equipment, raw materials, semi-finished, or finished products may be permitted only when such outdoor storage is necessary and incidental to the operations being carried on in the building located upon the site. No storage shall be permitted on the set back areas and all storage shall be shielded by fence or landscaping so as to screen such storage area from public streets and adjoining properties. No storage shall be permitted between a frontage street and the building line.
- e. **Waste Material** - No waste material, rubbish, or discarded matter of any kind shall be permitted to be stored in open areas except in containers approved by the LDFA, and not beyond a time reasonably required to arrange for removal.
- f. **Utilities and Mechanical Equipment** - All electrical, telephone, telecommunications cable, and gas and utility service lines to individual buildings shall be install underground. Any mechanical equipment installed on a roof shall be architecturally screened to harmoniously conform to the general architecture of the building.
- g. **Surface Water** - Each Grantee shall make provisions for adequate drainage of surface water from their properties to public storm sewers and designated drainage areas in the park. All stormwater management plans associated with each lot development will accompany the initial site development plans submitted to the LDFA and Planning Commission.
- h. **Building Construction** - All buildings shall have exterior facing of architectural approval materials such as: face brick, concrete block, architectural concrete, steel or aluminum factory finished panels, and glass. All sides of any building facing upon a public street or a public highway must be treated with finished materials unless otherwise approved in the site plan. In the event of a dispute as to whether or not a particular material qualifies as "finished material", the decision of the Grantor will be final. All exposed concrete block or metal must be painted or varnished within sixty (60) days from the date of occupancy except those materials not normally painted, or materials which have been pre-finished. No used material shall be incorporated within any building without the express written permission of the Grantor. All buildings shall be constructed in accordance with applicable codes and ordinances of local, county, state, and federal governmental bodies, and shall in

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addition be constructed with high quality materials and in a manner so as to have the ability to withstand the normal causes of deterioration with normal maintenance procedures. No structure, covering, garage, or other outbuilding of a temporary nature shall be situated, erected, or maintained on any parcel of the subject property.

- i. **Landscaping** - All yard areas, with the exception of paved driveways, parking and loading spaces, outdoor storage areas, and walkways, shall be used exclusively for landscaping, including trees, shrubs, lawns, and ornamental features. Such landscaping is to be completed within twenty-four (24) months after the start of construction, or six (6) months after occupancy of the principal building, whichever comes first. The owner shall maintain the landscaped areas at his own expense. Undeveloped areas for future expansion may be left un-landscaped upon written permission of Grantor.
- j. **Easement** - The Grantor retains such rights-of-way and easements as may be or convenient for the purpose of erecting, constructing, maintaining, and operating services of any kind over, across, under, and through the premises in designated set back areas between the building lines and the property lines, including, but not limited to, public services wires and conduits for lighting, power and telephone, gas lines, sanitary sewer, storm sewer and water, and the Grantor shall have the right to grant right-of-way easements to others to carry this out. Upon connection of the laying of such lines, wires, conduits, pipes, or sewers, the premises shall be restored to the same condition as they were prior to work being done.
- k. **Signs** - Signs advertising the person, firm, company, or corporation operating the use conducted on the lot or the products produced there shall be permitted, a freestanding nature, or attached to the building except that the signs cannot exceed the height of the building and shall conform to all front, side, and rear yard requirements. Outdoor advertising, billboards, or flashing lights are not permitted. Signs shall conform to the requirements of the City of Leslie Zoning Ordinance.
- l. **Fences and Walls** - **Except as provided below**, fences and walls in front yards shall not exceed three (3) feet in height and shall be constructed of wood and/or masonry. Security fences of more than eight (8) feet in height may be constructed in any location on the owner's property, including the front yard if shown on a site plan for the property approved by Grantor and the City of Leslie.

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4. Maintenance:

- a. Each lot owner shall at all times keep his premises, buildings, improvements, and appurtenances in a safe, clean, neat, and sanitary condition, and shall comply with all laws, ordinances, and regulations pertaining to health safety.
- b. Buildings within the park which become vacant shall be kept secured.
- c. If accumulation of weeds, rubbish, or items of equipment or supplies are permitted to remain on a parcel more than ten (10) days after a request in writing from the Grantor to have them removed, the Grantor, or its authorized agent, may enter upon any parcel for the purpose of removing same by whatever means it deems necessary. Such entry shall not be subject to any liability and the person in violation shall pay the cost of work.
- d. If landscaping areas are not maintained in accordance with the standard prescribed by the Grantor and the condition is not corrected within ten (10) days written notice from the Grantor, the Grantor or its authorized agent shall have the right to enter upon any parcel and plant or replant or maintain such areas, without being guilty of trespassing. The person in violation thereof shall pay the costs.

5. Site Plan Review.

Prior to the commencement of the construction on any site in the Leslie Business Park, the owner and/or developer thereof shall submit a site plan for review and approval to the Local Development Finance Authority (LDFA).

A site plan shall be required for original construction, as well as for any subsequent construction. The site plan shall contain the following information in detail: ingress and egress to the site, interior traffic pattern, parking, landscaping, location of signs, architectural drawings of proposed buildings, and a description of the building construction and materials. The Local Development Finance Authority shall within sixty (60) days of the submission of a site plan, determine if the site plan meets the requirements contained herein, and such event shall approve the site plan. If the site plan does not meet the requirements contained herein, the LDFA shall disapprove the site plan and shall notify the owner and/or developer of the reasons for disapproval in writing. The Local Development Finance Authority may request such additional information as it deems necessary to make its determination or as may be required by State Law. Approval of site plan by the LDFA shall not relieve the owner and/or developer of obtaining any other approval required by law. All site plans must be additionally approved by the City of Leslie Planning Commission to conform to the City of Leslie Zoning Ordinances, and the City of Leslie Building Inspector shall issue all building permits in conformance with the City of Leslie Building Codes.

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The Leslie Local Development Finance Authority and its members shall not be liable for damages to any person submitted plans for approval or to any owner and/or developer covered by these covenants by reason of mistake in judgment, negligence of itself, its agents or employees arising out of or in connection with the approval or disapproval or failure to approve any site plan.

6. Time Limit for Construction.

Construction of an approved building upon said building site shall begin no later than twelve (12) months from the date of closing on the sale contract agreement, and such construction shall be completed within twenty-four (24) months after the start of construction. If construction has not begun or has not been completed within the time limits specified above, the City of Leslie, its successors, or assigns may extend in writing the time in which said building is to be built. The City of Leslie also retains the option of refunding the purchase price and taking possession of the land if construction does not begin in a timely manner. At the time of such refund of the purchase price, the purchaser shall execute and deliver to the City of Leslie a good and sufficient reconveyance of said premises.

7. Resale Rights.

- a. No purchase of unimproved property shall sell or lease said property to any third party without the written consent of the City of Leslie Local Development Finance Authority. In the event the purchase of unimproved property desires not to proceed with development, the LDFA, its successors and assigns, retains the option to refund the purchase price less any outstanding mortgages or other encumbrances against the property and all costs in connection with the repurchase or reconveyance, and enter into possession of the land. This section is not intended to prohibit the transfer of said property to a company, real estate, or holding corporation, but such transferee shall take subject to all the restrictions herein contained, including this paragraph.
- b. No purchaser of unimproved or improved property shall subdivide or divide any lot or combination of lots in order to create additional lots for the purpose of sale or lease without the written consent of the LDFA. Any lot or lots created by division or subdivision shall meet all applicable laws of Michigan and the City of Leslie, and improvements thereto shall be subject to all the restrictions and covenants contained herein including resale rights and time limits for construction.
- c. Any purchaser of improved property may convey said property to a third party, to the condition outlined in these restrictions.

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- d. It is further covenanted and agreed by and between the parties hereto that Grantor will not grant, sell, or convey any interest in or to any part or parcel of the above-described property without inserting in the grant thereof that the property is subject to all covenants and restrictions as adopted by LDFA.

8. Enforcement.

Violation of any of said restrictions or conditions, or breach of any covenant or agreement herein contained shall give the Grantor, in addition to all other remedies, the right to enter upon the land as to which such violation or breach exists and summarily to abate and remove any erection or thing or correct any condition that may constitute such violation or breach at the expense of the person in violation, which expenses to be a lien on such land enforceable in equity; provided, however, that no such entry shall be made unless the violation or breach has not been remedied or corrected within thirty (30) days after delivery of notice of such violation or breach from the Grantor or to the occupant of the premises on which the violation or breach has occurred or in the alternative within thirty (30) days after mailing such notice, by first class mail, postage prepaid, to the recorded owner of such premises at their last known address. Any party hereto, their heirs, devisees, administrators, successors, or assigns shall have the right to sue for and obtain an injunction, prohibitive or mandatory, to prevent the breach of or to enforce the observance of the restriction above set forth, or to pursue any other remedy, legal or equitable, but the violation of these restrictions shall not defeat nor render invalid the lien of any mortgage or trust deed made in good faith and for value without notice of violation.

9. Failure to Enforce.

Failure by the City of Leslie or the Local Development Finance Authority to enforce any of such restrictions, conditions, and agreement as contained herein shall in no event be deemed a waiver of right to do so thereafter.

10. Covenant Duration.

Each of the conditions, covenants, restrictions, and reservations set forth above shall run with the land and bind all parties obtaining interest in said property, their successors, and assigns.

IN WITNESS WHEREOF, the City of Leslie, by authority of the City Council, has caused this instrument to be executed by its Mayor and attested by its City Clerk, and its corporate seal to be affixed hereto this _____ day of _____ 20____.

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ATTEST:

CITY OF LESLIE

Mayor

Clerk

CITY OF LESLIE, MICHIGAN SITE PLAN REVIEW APPLICATION AND CHECKLIST

- Approval of the site plan is hereby requested for the following parcel(s) of land in the City of Leslie
- This application is submitted with three (3) copies of the complete site plan and payment of the appropriate review fees. Applicant shall also submit a digital version of the site plan to the zoning administrator.
- Application must be filed least 25 days prior to a scheduled planning commission meeting for staff review and proper notices.
- The attached checklist has been completed to certify the data contained on the site plan. If the required data has not been provided, the appropriate box has been checked with a statement of explanation on why the data has not been provided.
- I understand that if my site plan is deemed to be incomplete, it may be returned by the City for revisions without being forwarded to the Planning Commission for consideration, until such time as the requirements have been adequately met.
- By signing this application, the applicant hereby grants full authority to the City of Leslie, its agents, employees, representatives and/or appointees to enter upon the undersigned lands/parcel(s) for the purposes of inspection and examination.

Application Filed On:

Application Transmitted by City On:

Property Details:

1. Name of Proposed Development: Luxx Phase 1
2. Property Street Address: (Vacant) Rice St., Leslie, MI 49251
3. Location of Property: On the (north, south, east, west side) of Street, between S Rice St & W Industrial Dr
4. Legal Description of Property: (See attached survey)
5. Site Area (in acres and square feet): 1 AC (43,560 SF)
6. Zoning Designation of Property: M-1

Ownership:

1. Name of Title/Deed Holder: KARL KUWNERBERG dba 024 WALL LLC
2. Address: 2472 JEFFERSON AVE WASHINGTON, PA 15301
3. Telephone No: 724 - 554 - 5456
4. Email address: KARL@XFNCTLLC.COM

Applicant:

1. Applicant (If different from owner above):
2. Address:
3. Telephone No:
4. Email address:
5. Interest in Property (potential buyer/lease holder/potential lessee/other):

Architect/Surveyor/Engineer preparing site plan:

1. Name of Individual: Tri-County Engineering
2. Address: 48701 Hayes Rd, Shelby, MI 48315
3. Telephone No: 810-394-7887
4. Email address: info@Tri-CountyEng.com

PLEASE NOTE: LLC establishments must have a current plan of operation.

APPLICATION FEES:

- | | |
|--|--------------|
| • Administrative Review | • 1st - Free |
| • Preliminary Site Plan Review | • \$200 |
| • Sketch Plan Review (basic homeowner projects) | • \$200 |
| • Single Family Residential (new construction) | • \$100 |
| • Planned Unit Development/Mixed use development | • \$200 |
| • Commercial Site Plan Review | • \$400 |
| • Industrial Site Plan Review | • \$500 |
- 3/6/21 PAID CK# 1114

KL Kromberg
Signature of Applicant

06 April 2021
Date

KL Kromberg
Signature of Deed/Title Holder

06 April 2021
Date

PLEASE PROVIDE AN OVERVIEW OF THE PROJECT:

Medical Marijuana Facility, 10,000 SF Building, Parking Lot, service utilities, grading, and drainage improvements.

SITE PLAN REVIEW CHECKLIST:

ITEM	PROVIDED	NOT PROVIDED
1. Site location Map.	✓	
2. North arrow, scale (one (1) inch equals fifty (50) feet if the subject property is less than three (3) acres and one (1) inch equals one hundred (100) feet if three (3) acres or more.	✓	
3. Revision dates.	✓	
4. Signature and Seal of Architect/Surveyor/Engineer.	✓	
5. Area of site (in acres and square feet).	✓	
6. Boundary of the property outlined in solid line.	✓	
7. Names, centerline and right-of-way widths of adjacent streets.	✓	
8. Zoning designation of property.	✓	
9. Zoning designation and use of adjacent properties.	✓	
10. Existing and proposed elevations for building(s) parking lot areas and drives	✓	
11. Direction of surface water drainage and grading plan and any plans for storm water retention/detention on site.		Will provide w/ Full Engineering
12. Required setbacks from property lines and adjacent parcels.	✓	
13. Location and height of existing structures on site and within 100 feet of the property.	✓	
14. Location and width of existing easements, alleys and drives.	✓	
15. Location and width of all public sidewalks along the fronting street right-of-way and on the site, with details.	✓	
16. Layout of existing/proposed parking lot, with space and aisle dimensions.	✓	
17. Parking calculations per ordinance.	✓	
18. Location of all utilities, including but not limited to gas, water, sanitary sewer, electricity, telephone.	✓	
19. Soil erosion and sedimentation control measures during construction.		(Will provide)
20. Location and height of all existing/proposed fences, screens, walls or other barriers.	✓	
21. Location and details of dumpster enclosure and trash removal plan.	✓	
22. Landscape plan indicating existing/proposed trees and plantings along frontage and on the site.		(will provide)
23. Notation of landscape maintenance agreement.		(Will provide)
24. Notation of method of irrigation.	✓	
25. Lighting plan indicating existing/proposed light poles on site, along site's frontage and any wall mounted lights.	✓	
a. Cut-sheet detail of all proposed light fixtures.	✓	
26. Architectural elevations of building (all facades). Identifying height, Materials used and colors.	✓	
27. Existing/proposed floor plans.	✓	
28. Roof mounted equipment and screening.		(will provide)
29. Location and type of existing/proposed on-site signage.		(will provide)
30. Notation of prior variances, if any.	N/A	
31. Notation of required local, state and federal permits, if any.	✓	
32. Additional information or special data (for some sites only)	N/A	
b. Environmental Assessment Study.	N/A	
c. Traffic Study. Trip Generation.	N/A	
d. Hazardous Waste Management Plan.	N/A	
33. For residential development: a schedule indicating number of dwelling units, number of bedrooms, gross and usable floor area, parking provided, total area of paved and unpaved surfaces.	N/A	
34. LLC establishments must have a current Plan of Operation.	✓	
35. Is property in the floodplain?	NO	
36. Will this require MDEQ permitting?	NO	
37. Performance Bond – when required.		(will provide)

Check the appropriate line. If item is marked as 'not provided', attach detailed explanation.

Additional data deemed necessary to enable to completion of an adequate review may be required by the Planning Commission, City and/or its consultants.

GENERAL NOTES

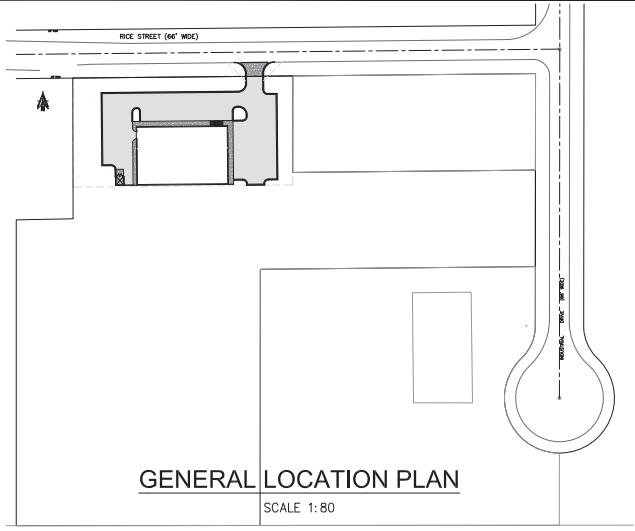
- ALL SITE DEMOLITION ACTIVITIES AND DISPOSAL LEGISLATION SHALL COMPLY WITH THE CONTRACT SPECIFICATIONS AND APPLICABLE JURISDICTIONAL AGENCY STANDARDS AND REGULATIONS. DEBRIS AND FILL MATERIAL EXCAVATED FROM THE SITE SHALL BE HAULLED TO AN APPROVED DISPOSAL SITE. CONTRACTOR MAY BE REQUIRED TO PROVIDE PROOF OF THE PROPOSED DUMP SITE IS PERMITTED.
- THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL SITE CONDITIONS ILLUSTRATED TO BE DEMOLISHED AND IF THERE ARE QUESTIONS OR PERCEIVED AS REAL CONCERNS REGARDING CONSTRUCTION DOCUMENTS COMPARED TO ACTUAL FIELD CONDITIONS SAID CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OR OWNER PRIOR TO BIDDING.
- THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES DURING THE DEMOLITION. IF A UTILITY INTERFERENCE IS REQUIRED, THE CONTRACTOR SHALL COORDINATE THE INTERFERENCE WITH THE OWNER AND PROPER NOTIFICATIONS WILL BE ISSUED TO THE JURISDICTIONAL AGENCY. NOTIFICATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN ADDITIONAL PROPERTIES DISTURBED OR DAMAGED DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICULAR TRAFFIC. CONTROLS MAY CONSIST OF, BUT NOT BE LIMITED TO: FLAGGERS, ORANGE BARRIERS, SIGNS, LIGHTS, AND FENCING. COST OF TRAFFIC CONTROL SHALL BE BORNE BY THE CONTRACTOR.
- SITE UTILITIES ILLUSTRATED ON THE CONTRACT DRAWINGS ARE APPROXIMATE AND SHALL NOT BE CONSIDERED AS 100% ACCURATE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN. INSTEAD, THE CONTRACTOR SHALL FIELD LOCATE, DEPTH AND LOCATION OF ALL UTILITIES LOCATED WITHIN THE LIMITS OF SITE EXCAVATION. CONTRACTOR SHALL CALL 800-333-3369 PRIOR TO EXCAVATING AND LOCAL UTILITIES SHALL BE MARKED OR CLEARED BY UTILITY OWNERS PRIOR TO EXCAVATING.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND LEGALLY DISPOSE OF ANY EXCESS FILL MATERIAL GENERATED DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXCAVATION OF WORK. REMOVE ALL OBSTACLES, STUMPS AND ROOTS WITHIN CONSTRUCTION AREA AS INDICATED. CLEAR UNDERGROWTH AND DEADWOOD, WITHOUT DISTURBING SUCCESS.
- MAINTAIN 10' MIN HORIZONTAL SEPARATION BETWEEN UTILITIES AND 18" CLEARANCE AT CROSSINGS.
- IF BASEMENTS ARE INVOLVED, ALL WATER MAIN SERVICE LEADS SHALL BE PRE-TAPPED PRIOR TO BASEMENT EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JURISDICTIONAL AGENCIES PERMIT COSTS.

CITY NOTES

- NOTE 1

PROPOSED LEGEND

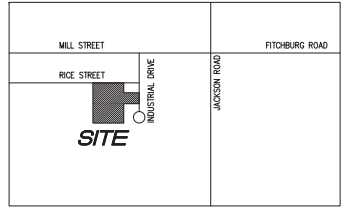
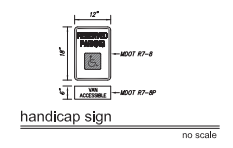
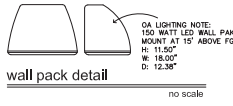
- TC 000.00 TOP OF CURB ELEVATION
- IG 000.00 GUTTER ELEVATION
- TP 000.00 TOP OF PAVEMENT ELEVATION
- TM 000.00 TOP OF MALL ELEVATION
- FG 000.00 FINISH GRADE ELEVATION
- FLOW DIRECTION
- CONC PAVEMENT
- ASPH PAVEMENT
- GRAVEL
- COMPACTED SAND BACKFILL
- WATERMAIN
- SANITARY SEWER
- STORM SEWER
- GAS MAIN
- ELECTRIC LINE
- HYDRANT
- GATE VALVE & WELL
- TAPPING-SLEEVE VALVE & WELL
- REAR YARD CATCH BASIN
- STORM MANHOLE
- CATCH BASIN
- INLET
- END SECTION
- SANITARY MANHOLE
- STRUCTURE TYPE
- STRUCTURE ID NO



GENERAL LOCATION PLAN
SCALE 1:80

SITE DATA

GOVERNING CODE:
2012 MRC & CITY OF LESLIE ZONING ORDINANCE
PARCEL ID: 33-17-14-27-152-020
EX ZONING: M-1 INDUSTRIAL
EX USE: VACANT
PROP USE: MEDICAL MARIJUANA
MIN BUILDING SIZE: N/A
PROP BUILDING: 10,000 SF
MIN LOT SIZE: 1 ACRE
PROP LOT SIZE: 1 ACRE (PHASE 1)
MIN LOT WIDTH: 300 FT
PROP LOT WIDTH: 300 FT
MIN FRONT SETBACK: 50 FT
MIN SIDE SETBACK: 20 FT
MIN REAR SETBACK: 40 FT
LOCATION:
NEAREST SCHOOL: WHITE PINE 1,900 FT (MIN 1,200 FT)
NEAREST CHURCH: LESLIE UNITED 3,500 FT (MIN 300 FT)
MAX BLDG HT: 35 FT HIGH
PROP BLDG HT: 24 FT HIGH
MIN PARKING: 1 SPACE PER 400 SF GROSS FLOOR AREA
10,000 / 400 = 25 SPACES
PROVIDED PARKING: 61 SPACES INCLUDING 3 BARRIER FREE
IRRIGATION NOT PROPOSED FOR PHASE 1
ALL LOCAL, STATE, AND FEDERAL PERMITS SHALL BE SECURED PRIOR TO START.
ALL ELECTRICAL, TEL, GAS, AND UTILITY SERVICE LINES SHALL BE INSTALLED UNDERGROUND.
ALL ROOFTOP MECHANICAL EQUIPMENT SHALL BE ARCHITECTURALLY SCREENED.
LANDSCAPING PLAN WILL BE PROVIDED WITH FUTURE PHASES.
BUILDING MOUNTED SIGN DETAILS WILL BE PROVIDED SEPARATELY.

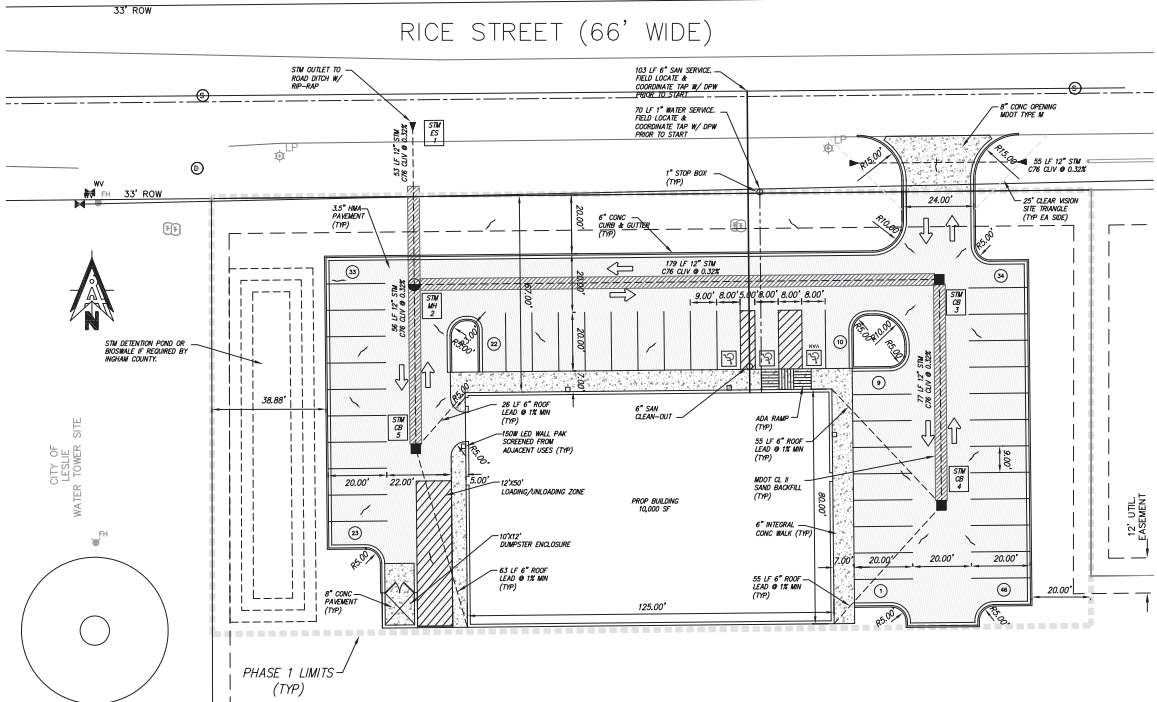


LOCATION MAP
NOT TO SCALE

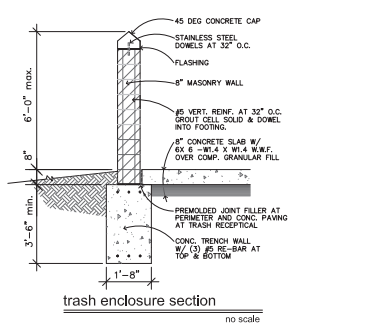
PROPERTY DESCRIPTION

A parcel of land being part of the South 1/2 of the Northwest 1/4 of Section 27, Town 1 North, Range 1 West, City of Leslie, Ingham County, Michigan being more specifically described as follows: To locate the Place of Beginning, commence at the West 1/4 corner of Section 27; thence N 89°57'23" E, along the East - West 1/4 line of Section 27, a distance of 657.64 feet to the Place of Beginning; thence N 00°00'12" W, 416.96 feet; thence N 89°58'30" E, 27.58 feet; thence N 00°00'10" W, 101.85 feet to the Southern right of way line of Rice Street; thence N 89°26'22" E, along the Southern right of way of Rice Street, a distance of 300.00 feet; thence S 00°03'21" W, 131.80 feet; thence N 89°28'22" E, 331.02 feet, to the Western right of way line of Industrial Drive, a distance of 131.60 feet; thence S 89°26'22" W, 375.02 feet; thence S 00°03'21" W, 348.30 feet to the East - West 1/4 line of Section 27; thence S 89°57'23" W, along the East - West 1/4 line, 332.48 feet, to the Place of Beginning. Containing 5.925 acres of land. Subject to all existing pertinent easements and restrictions of record.

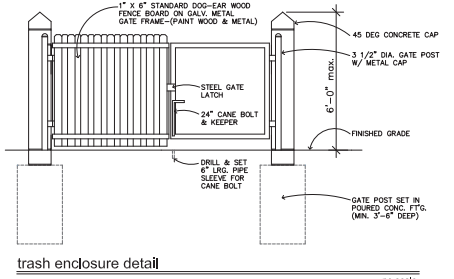
NOTE:
SURVEY PROVIDED BY DEVELOPER.
FAUSLER LAND SURVEYING JOB NO. TS 10/2020.



SITE & GEOMETRY PLAN
SCALE 1:20



trash enclosure section
no scale



trash enclosure detail
no scale

TRI-COUNTY
Engineering Consultants
48701 Hayes Road
Shelby Twp, MI 48295
TEL: (800) 366-7887
FAX: (609) 696-4948
www.Tri-CountyEng.com
info@Tri-CountyEng.com

CLIENT NAME:
LUXX LLC
PO Box 495
Leslie, MI 48291
734-654-6468
Kar@tricons.com
8 WORKING DAYS
800-495-7771
811
Know what's below.
Call before you dig.
FROM TO CONSTRUCTION. ALL EXISTING UTILITIES LOCATION AND DEPTH WITHIN THE PROJECT AREA SHALL BE FIELD VERIFIED. CALL MISS DIG SYSTEM 3 WORKING DAYS PRIOR TO CONSTRUCTION.
UTILITY INFORMATION SHOWN ON THIS DRAWING ARE APPROXIMATE AND MAY BE ACCORDING TO AVAILABLE RECORDS OF UTILITY COMPANIES, PUBLIC AGENCIES, OR OTHER SOURCES AND THIS MAY NOT NECESSARILY REFLECT ACTUAL FIELD LOCATIONS AND NO GUARANTEE IS GIVEN TO ANY INFORMATION SHOWN ON THIS DRAWING. COPYRIGHT (C) 2021. ALL RIGHTS RESERVED. THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE TO BE USED ONLY FOR THE PROJECT AND WITHOUT PERMISSION BY TRI-COUNTY ENGINEERING CONSULTANTS.

PROJECT NAME:
LUXX PHASE 1
Site Development
Rice St. (Vacant)
Leslie, MI 49251
SITE & GEOMETRY PLAN

PROJECT LOCATION:
SEC 27, TOWN, ROUE
CITY OF LESLIE
INGHAM COUNTY
Drawn By: FH
Checked By: SS
Approved By: SS

REVISIONS:
1. PRELIM PLANS 04/04/21
2. AGENCY REVISIONS 04/05/21
3. PER CITY 04/08/21

SCALE VERIFICATION:
1" = 20'
BASE ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:
1" = 20'
PROJECT NO:
XM21001
DRAWING NO:
XM21001SP
SP-1



JOB NUMBER: 21-029

CUSTOMER: G&D Erectors

PROJECT NAME: New Grow Facility

JOB SITE ADDRESS:

Leslie, MI

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING LOADS, IT IS THE CONTRACTOR RESPONSIBILITY TO CONFIRM THAT THESE LOADS COMPLY WITH THE REQUIREMENT OF THE LOCAL BUILDING DEPARTMENT.

BUILDING DESIGN CRITERIA

BUILDING CODE:	IBC 15
OCCUPANCY CATEGORY:	II - Normal
ROOF DEAD LOAD (ROOF PANELS & PURLINS):	2.000 PSF
COLLATERAL LOAD:	6 PSF
ROOF LIVE LOAD:	20.00 PSF
FRAME LIVE LOAD:	12 PSF
GROUND SNOW LOAD:	25 PSF
ROOF SNOW LOAD:	17.5 PSF
SNOW EXPOSURE FACTOR, C_e :	1.0000
SNOW IMPORTANCE FACTOR, I_s :	1.0000
SNOW THERMAL FACTOR, C_t :	1.00
WIND SPEED:	115 MPH
WIND EXPOSURE CATEGORY:	C
WIND IMPORTANCE FACTOR:	1.00
BUILDING ENCLOSURE:	Closed
SEISMIC SITE CLASS:	D
MAPPED RESPONSE SHORT PERIOD:	$S_s = 0.0870$
MAPPED RESPONSE 1.0 SECOND PERIOD:	$S_1 = 0.0470$
DESIGNED S_{ds} :	0.09
DESIGNED S_{d1} :	0.08
SEISMIC IMPORTANCE FACTOR:	$I_e = 1.00$
SEISMIC DESIGN CATEGORY:	II
STRUCTURAL SYSTEMS TRANSVERSE:	ORDINARY MOMENT FRAMES
STRUCTURAL SYSTEMS LONGITUDINAL:	CENTRICALLY BRACE FRAMES
ANALYSIS METHOD:	EQUIVALENT LATERAL FORCE PROCEDURE

FIELD-LOCATED ACCESSORIES:

(3) 3070M non-insulated w/ std. lever lock (keyed alike)

BUILDING DEFLECTION CRITERIA

ROOF PURLINS LIVE LOAD	L/ 180
ROOF PURLINS WIND LOAD	L/ 120
LATERAL GIRT DEFLECTION	L/ 90
VERTICAL FRAME DEFLECTION	L/ 180
HORIZONTAL FRAME DEFLECTION	H/ 60
ROOF PANEL DEFLECTION	L/ 180
WALL PANEL DEFLECTION	L/ 120
MEZZANINE DATA:	
MEZZANINE END USE:	
MEZZANINE FLOOR MATERIAL:	
MEZZANINE FLOOR DEAD LOAD:	PSF
MEZZANINE FLOOR LIVE LOAD:	PSF
MEZZANINE FLOOR ELEVATION:	FEET

ROOF TOP UNIT SCHEDULE

DESIGNATION	DESCRIPTION	UNIT WEIGHT

CRANE #1 DATA:

CRANE TYPE:	
CRANE CAPACITY IN TON:	
BRIDGE WT. IN LBS:	
TROLLEY WT. IN LBS:	
WHEEL SPACING:	
HOIST HP:	
POWER TYPE:	

CRANE #2 DATA:

CRANE TYPE:	
CRANE CAPACITY IN TON:	
BRIDGE WT. IN LBS:	
TROLLEY WT. IN LBS:	
WHEEL SPACING:	
HOIST HP:	
POWER TYPE:	

COLOR DESCRIPTION:

EXTERIOR ROOF PANELS:

COLOR: 24 ga. Central Seam Plus, Galvalume

EXTERIOR WALL PANELS:

COLOR: 26 ga. PRB, Ash Gray

TRIM COLORS:

GABLE:	Ash Gray
CORNER:	Hunter Green
GUTTER:	Hunter Green
FRAMED OPENINGS:	Hunter Green
LINER TRIM:	--
DOWNSPOUTS:	Hunter Green
BASE TRIM:	Hunter Green

LINER ROOF PANELS:

COLOR: --

LINER WALL PANELS:

COLOR: --

MATERIAL SPECIFICATION

MATERIAL	ASTM DESIGNATION	MINIMUM YIELD
HOT ROLL BEAM & CHANNEL	A992 / A572	Fy=50 KSI
BUILT UP PLATE MATERIALS	A572 / A1011	Fy=50 KSI
HOT ROLL ANGLE	A36	Fy=36 KSI
STANDING SEAM ROOF PANEL	A792 GR.50	Fy=50 KSI
ROOF AND WALL SHEETING	A792 GR.80	Fy=80 KSI
STRUCTURAL TUBE	A500 GRADE, B	Fy=46 KSI
STRUCTURAL PIPE	A500 GRADE, B	Fy=42 KSI
MACHINE BOLTS	A307	GRADE A HEX
HIGH STRENGTH BOLTS (1/2" TO 1")	A325 TYPE I	Fy=120 KSI
HIGH STRENGTH BOLTS (1 1/8" TO 1 1/2")	A325 TYPE I	Fy=105 KSI
COLD FORMED LIGHT GAGE SHAPES	A653/A1011/A1039 GR.55	Fy=55 KSI
ANCHOR BOLTS	A307 GRADE C	Fy=36 KSI
RDD BRACING	A529 GRADE 50	Fy=50 KSI
CABLE BRACING	A475 COATING CLASS A	GRHS, 7/16"

GENERAL NOTES

- FABRICATION SHALL BE IN ACCORDANCE WITH TERRY BUILDING CO. STANDARD PRACTICES IN COMPLIANCE WITH THE APPLICABLE SECTIONS RELATING TO DESIGN REQUIREMENTS AND ALLOWABLE STRESSES OF THE LATEST EDITION OF THE "AISC STRUCTURAL CODE D1.1".
- CLAIMS FOR CORRECTION OF ALLEGED MISTAKES WILL BE DISALLOWED UNLESS TBCI HAS RECEIVED PRIOR NOTICE THEREOF AND ALLOWED REASONABLE INSPECTIONS OF SUCH MISTAKES. THE CORRECTION OF MINOR BY THE USE OF DRIFT PINS TO DRAW THE COMPONENTS IN LINE. MODERATE AMOUNTS OF REAMING, CHIPPING AND CUTTING AND THE REPLACEMENT OF MINOR SHORTAGES OF MATERIAL ARE A NORMAL PART OF ERECTION AND ARE NOT SUBJECT TO CLAIM.
- ALL BRACE STRAPPING AND BRIDGING SHOWN AND PROVIDED BY TBCI FOR THIS BUILDING IS REQUIRED AND SHALL BE INSTALLED BY THE ERECTOR AS A PERMANENT PART OF THE STRUCTURE. IF ADDITIONAL BRACING IS REQUIRED FOR STABILITY DURING ERECTION, IT SHALL BE THE ERECTOR'S RESPONSIBILITY TO DETERMINE THE AMOUNT OF SUCH BRACING AND TO PROVIDE AND INSTALL AS NEEDED.
- A325 BOLT TIGHTENING REQUIREMENTS ONLY NEED TO BE SNUG TIGHT. THE SNUG TIGHT CONDITION IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PILES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH. HOOKED WASHERS ARE NOT REQUIRED UNLESS WHEN BOLTS ARE INSTALLED IN OVERSIZED OR SLOTTED HOLES.
- SHOP PRIMER IS A RUST INHIBITIVE PRIMER. THIS PAINT IS NOT INTENDED FOR LONG TERM EXPOSURE TO THE ELEMENTS. TBCI IS NOT RESPONSIBLE FOR ANY DETERIORATION OF THE SHOP PRIMER PAINT AS A RESULT OF IMPROPER HANDLING AND/OR STORAGE. TBCI SHALL NOT BE RESPONSIBLE FOR ANY FIELD APPLIED PAINT AND/OR COATINGS.
- ALL BOLTS ARE 1/2"Ø x 1 1/4" A307 EXCEPT:
1) ENDWALL RAFTER SPLICE PLATE CONNECTIONS- SEE DRAWINGS
2) ENDWALL/CORNER COLUMN TO RAFTER CONNECTIONS- SEE DRAWINGS
3) RIDG FRAME COLUMN TO RAFTER CONNECTIONS- SEE DRAWINGS
- GALVANIZED OR OTHER SPECIAL COATINGS 'SEE CONTRACT
- CLOSURE STRIPS ARE FURNISHED FOR APPLICATION INSIDE- UNDER ROOF PANELS AT EAVE OUTSIDE- BETWEEN ENDWALL PANELS AND GABLE TRIM - UNDER CONTINUOUS RIDGE VENT SHIRTS
NOTE: CONDITIONS MAY VARY WITH DIFFERENT SITUATIONS REFER TO ERECTION DRAWINGS.
- TERRY BUILDING CO. ASSUMES THAT ALL OVERHEAD DOORS, WINDOWS AND WALKDOORS THAT ARE NOT FURNISHED BY TBCI HAVE BEEN DESIGNED TO RESIST THE REQUIRED WIND LOAD OF YOUR BUILDING. IN MANY CASES OPENINGS WHICH HAVE NOT BEEN DESIGNED FOR FULL WIND LOAD WILL RECLASSIFY THE BUILDING AS A PARTIALLY OPEN. THEREBY INCREASING WIND COEFFICIENTS. INCREASED WIND COEFFICIENTS MAY REQUIRE ADDITIONAL GIRTS AND PURLINS, AS WELL AS PANEL DEFLECTION OF THE RIDG FRAMES. IF YOU ARE USING OHD, OR ANY OTHER MATERIAL TO ENCLOSE BUILDING WHICH HAS NOT BEEN DESIGNED FOR FULL WIND LOAD, NOTIFY TBCI IN ADVANCE SO THAT YOUR BUILDING CAN BE PROPERLY DESIGNED FOR PARTIALLY OPEN CONDITIONS.

VERTICAL DEFLECTION OF RIDG FRAMES

BUILDINGS WHICH ARE LOCATED IN REGIONS OF THE COUNTRY WHERE SNOW & ICE ACCUMULATION MAY OCCUR SHOULD BE MAKE THAT PURLINS AND RIDG FRAMES, PARTICULARLY LONG SPAN FRAMES, WILL DEFLECT VERTICALLY WHEN SUBJECTED TO SNOW AND ICE LOADS. TWO AREAS WHICH REQUIRE SPECIAL PRECAUTION DURING INTERIOR ERECTION AND ARE GREATLY EFFECTED BY VERTICAL DEFLECTION, SHOULD BE CAREFULLY CONSIDERED:

- METAL STUDS SHOULD NEVER BE ATTACHED DIRECTLY TO RIDG FRAMES OR PURLINS WITHOUT SLOTTED VERTICAL CLIPS. EVEN A 1/8" VERTICAL DEFLECTION CAN CAUSE A METAL STUD TO BOW OUT ABOUT 5 TO 6 INCHES.
- CARE SHOULD BE TAKEN WHEN SUPPORTING ACOUSTIC OR OTHER TYPE HANGING CEILING TILES FROM PURLINS AND RIDG FRAMES IN HALLWAYS OR SMALL ROOMS THE TILES SHOULD BE SUPPORTED FROM PERMANENT WALLS AND PARTITIONS RATHER THAN THE PURLINS. IN LARGER ROOMS WHERE THE CEILING MUST BE SUPPORTED FROM THE ROOF SYSTEM, IT IS IMPORTANT TO ALLOW THE CEILING TO DEFLECT AT THE OUTSIDE WALLS AT THE SAME TIME RATE IT DEFLECTS IN THE CENTER OF THE ROOM. IF THE CEILING IS SUPPORTED CONTINUOUSLY ALONG ANY NON-YIELDING WALL WHILE THE REST OF THE CEILING IS DEFLECTING, OBVIOUS PROBLEMS WILL OCCUR.

ROOF CURB WARRANTY CONSIDERATIONS

IF TBCI IS TO PROVIDE A WEATHER TIGHTNESS WARRANTY FOR YOUR PROJECT, TBCI REQUIRES THAT THE ROOF CURBS BE PRE-APPROVED BY TBCI. ALL ROOF CURBS SHOULD BE COMPATIBLE WITH THE ROOF PANEL. THE ROOF CURBS SHOULD HAVE MALE AND FEMALE SIDE RIBS AND WATER DIVERSERS AT THE UPSLOPE SIDE OF THE ROOF CURB

- PURLINS AND GIRTS SHALL NOT BE AS ANCHORAGE POINT FOR A FALL ARREST SYSTEM UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE METAL BUILDING SUPPLIER.
- ALL LIFTING DEVICES MUST MEET OSHA STANDARDS AND IN NO CASE IS IT ACCEPTABLE TO USE FRAMING MEMBERS SUPPLIED BY METAL BUILDING SUPPLIER AS A SPRINGER OR LIFTING DEVICE.

12) ALL COLD FORMED MEMBERS ARE DESIGNED IN ACCORDANCE WITH AISC "SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS" LATEST EDITION

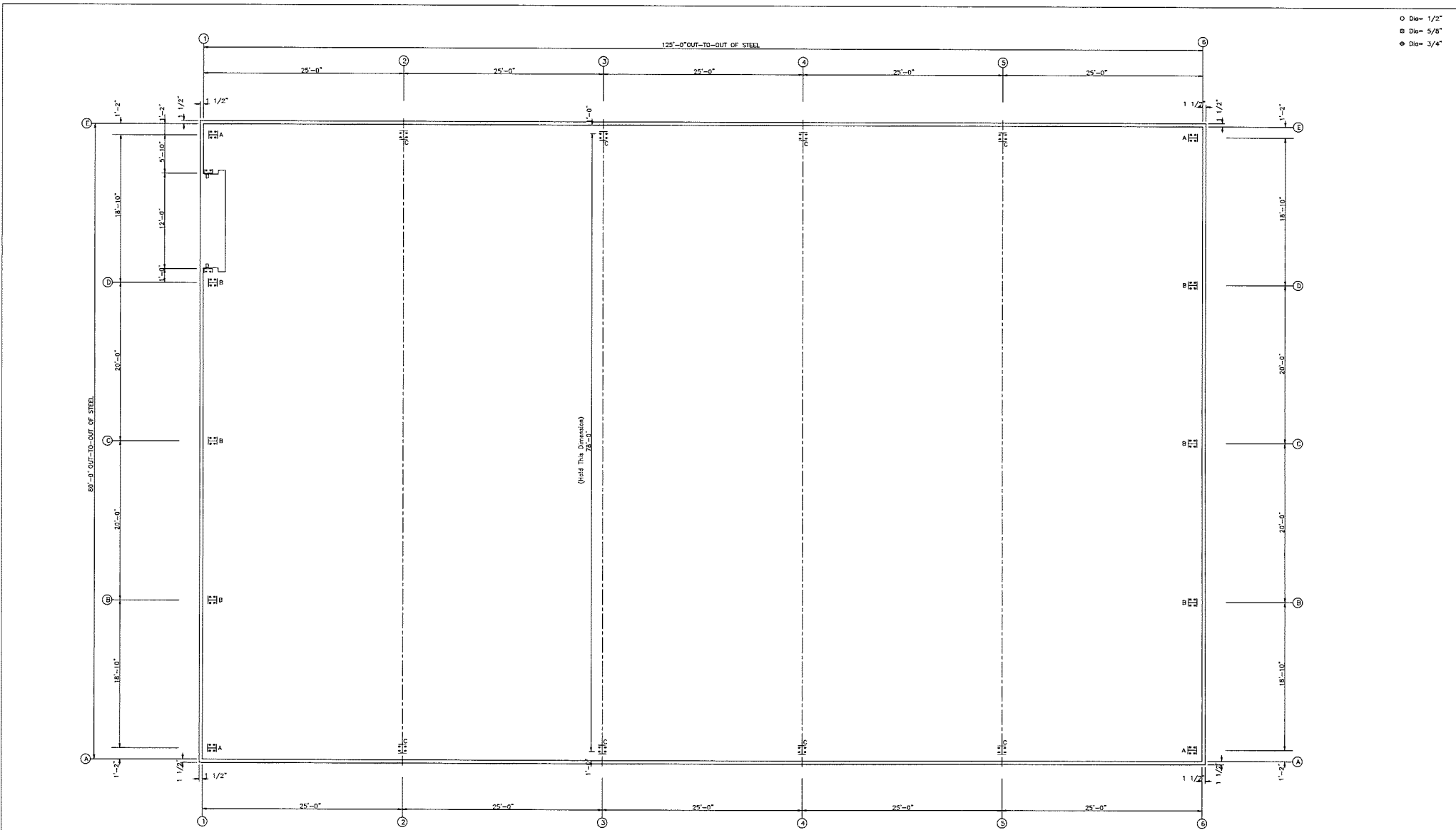
BUILDER/CONTRACTOR RESPONSIBILITIES:

- TERRY BUILDING CO. STANDARD PRODUCT SPECIFICATIONS APPLY, AND UNLESS STIPULATED OTHERWISE IN THE CONTRACT DOCUMENTS, THE MANUFACTURER'S DESIGN, FABRICATION, QUALITY CRITERIA STANDARDS, AND TOLERANCES WILL GOVERN THE WORK.
- IN CASE OF DISCREPANCIES BETWEEN THE MANUFACTURER'S PLANS AND PLANS FOR OTHER TRADES, THE MANUFACTURER'S PLANS WILL GOVERN.
- IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO OBTAIN APPROPRIATE APPROVALS AND NECESSARY PERMITS FROM CITY, COUNTY, STATE, OR FEDERAL AGENCIES AS REQUIRED.
- THE BUILDER/CONTRACTOR OR A/E FIRM ARE RESPONSIBLE FOR THE OVERALL PROJECT CONDITION, ALL INTERFACE AND COMPATIBILITY, CONCERNING ANY MATERIALS NOT FURNISHED BY THE MANUFACTURER ARE TO BE CONSIDERED AND COORDINATED BY THE BUILDER/CONTRACTOR OR A/E FIRM. UNLESS SPECIFIED DESIGN CRITERIA CONCERNING THIS INTERFACE BETWEEN MATERIALS IS FURNISHED AS PART OF THE PURCHASE ORDER, THE MANUFACTURER ASSUMES NO RESPONSIBILITY.
- THE BUILDER/CONTRACTOR IS RESPONSIBLE FOR SETTING OF ANCHOR BOLTS AND ERECTION OF STEEL BUILDING COMPONENTS IN ACCORDANCE WITH TERRY BUILDING CO. FOR CONSTRUCTION DRAWINGS. TEMPORARY SUPPORTS OR BRACING REQUIRED FOR THE BUILDING ERECTION WILL BE THE RESPONSIBILITY OF THE ERECTOR TO DETERMINE, FURNISH, AND INSTALL.
- THE BUILDER/CONTRACTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN CONFORMANCE WITH THE ERECTION MANUAL, PROJECT DRAWINGS, AND ANY OTHER APPLICABLE ERECTION GUIDES PROVIDED BY THE MANUFACTURER.
- THERE SHALL BE NO FIELD MODIFICATIONS TO ANY PRIMARY OR SECONDARY STRUCTURAL STEEL MEMBERS EXCEPT AS AUTHORIZED AND SPECIFIED BY THE METAL BUILDING MANUFACTURER.
- APPROVAL OF TBCI DRAWINGS AND CALCULATIONS INDICATES THAT TBCI HAS CORRECTLY INTERPRETED AND APPLIED THE CONTRACT DOCUMENTS. THE APPROVAL DRAWINGS CONSTITUTE THE CONTRACTOR/BUYER ACCEPTANCE OF THE TBCI DESIGN CONCEPTS, ASSUMPTIONS, AND LOADING.
- ONCE THE BUYER HAS SIGNED THE APPROVAL DRAWINGS AND THE PROJECT IS RELEASED FOR FABRICATION, CHANGES SHALL BE BILLED TO THE BUYER INCLUDING MATERIAL, ENGINEERING AND ALL OTHER COSTS. AN ADDITIONAL FEE MAY BE CHARGED IF THE PROJECT MUST BE MOVED FROM THE FABRICATION AND SHIPPING SCHEDULE.
- NORMAL ERECTION OPERATIONS INCLUDE CORRECTIONS OF MINOR MISTAKES BY MODERATE AMOUNTS OF REAMING, CHIPPING, AND WELDING THE ELEMENTS INTO LINE THROUGH THE USE OF DRIFT PINS. ERRORS WHICH CANNOT NOT BE CORRECTED BY THE FOREGOING MEANS OR WHICH REQUIRE MAJOR CHANGES IN MEMBER CONFIGURATION ARE TO BE REPORTED IMMEDIATELY TO TBCI BY THE BUYER/CONTRACTOR TO ENABLE WHOEVER IS RESPONSIBLE OTHER TO CORRECT THE ERROR OR TO APPROVE THE MOST EFFICIENT AND ECONOMICAL METHOD OF CORRECTION TO BE USED BY OTHERS.
- NEITHER TBCI NOR THE BUYER/CONTRACTOR WILL CUT, DRILL, OR OTHERWISE ALTER HIS WORK OR THE WORK OF OTHER TRADES, OR ACCOMMODATE OTHER TRADES, UNLESS THE WORK IS CLEARLY SPECIFIED IN THE CONTRACT DOCUMENTS. WHENEVER SUCH WORK IS SPECIFIED, THE BUYER/CONTRACTOR IS RESPONSIBLE FOR FURNISHING COMPLETE INFORMATION AS TO MATERIALS, SIZE, LOCATION AND NUMBER OF ALTERATIONS PRIOR TO PREPARATION OF SHOP DRAWINGS.
- "WARNING" IN NO CASE SHOULD ALUMINIZED ZINC STEEL PANELS BE USED IN CONJUNCTION WITH LEAD OR COPPER. BOTH LEAD AND COPPER HAVE HARMFUL CORROSIVE EFFECTS ON THE ALUMINIZED ZINC ALLOY COATING WHEN THEY ARE IN CONTACT WITH ALUMINIZED ZINC STEEL PANELS. EVEN RAIN-OFF FROM COPPER FLASHING, WIRING OR TUBING ONTO ALUMINIZED ZINC SHOULD BE AVOIDED.
- "SAFETY COMMITMENT" TBCI HAS A COMMITMENT TO MANUFACTURE QUALITY BUILDING COMPONENTS THAT CAN BE ERECTED SAFELY. HOWEVER, THE SAFETY COMMITMENT AND JOBSITE PRACTICES OF THE ERECTOR ARE BEYOND THE CONTROL OF TBCI.

REVISIONS		DATE:	CUSTOMER	DESIGNER	DRAWN	CHECKED
Δ	1.0	4-2-21	G&D Erectors			
Δ	1.1		New Grow Facility			
Δ	1.2		PROJECT SIZE	80'-0" x 125'-0" x 14'-0"		
Δ	1.3		ADDRESS	Leslie, MI		
Δ	1.4					

Cover Sheet

DESIGN: RFS | DRAFT: CC | CHECK: []
 DET. CC | LCK | []
 DATE: 3/15/21 | 21-029

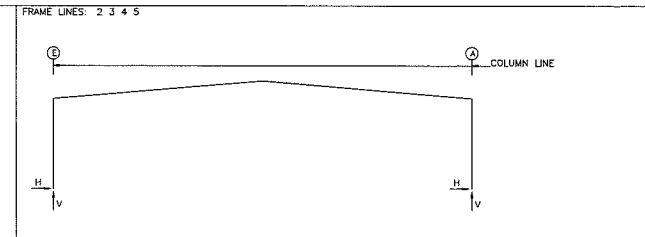
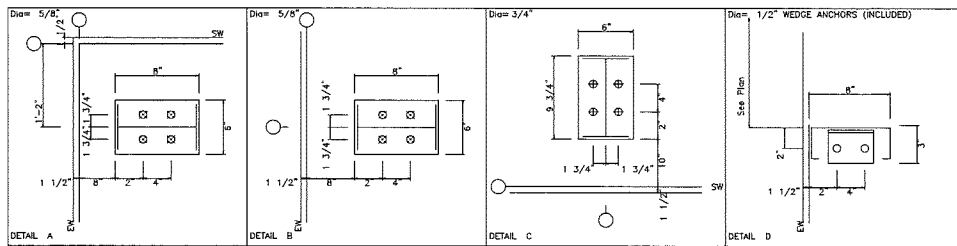


ANCHOR BOLT PLAN
NOTE: All Base Plates @ 100'-0" (I.N.)

- GENERAL NOTES**
1. FINISHED FLOOR IS REFERENCED AS 100'-0". ALL BASE PLATE ELEVATIONS (B.P.E.) ARE AT ELEVATION 100'-0" UNLESS NOTED OTHERWISE ON ANCHOR BOLT PLAN.
 2. THE DRAWING APPROVER IS RESPONSIBLE FOR CONFIRMING ALL BASE PLATE ELEVATIONS (B.P.E.). ALL BASE PLATE ELEVATIONS ARE FOR APPROVAL. IF THE BASE PLATE ELEVATIONS ARE NOT CHANGED ON THE RETURNED APPROVAL DRAWINGS, THEY ARE CONSIDERED APPROVED AND ALL STEEL WILL BE MANUFACTURED ACCORDINGLY.
 3. ANCHOR BOLTS SHALL BE ACCURATELY SET TO A TOLERANCE OF +/- 1/8" IN BOTH ELEVATION AND LOCATION.
 4. THIS ANCHOR BOLT PLAN IS FOR BOLT LOCATIONS ONLY. DO NOT USE THIS DRAWING FOR POURING FOUNDATION. REFER TO ARCHITECTURAL/STRUCTURAL DRAWINGS FOR FOUNDATION PLAN, SECTIONS, & DETAILS. ANY FOUNDATION FEATURES SHOWN ARE FOR REFERENCE ONLY.

REVISIONS		ANCHOR BOLT PLAN			
△	C.O. #1 CC	DATE	4-2-21	CUSTOMER	G&D Erectors
△		DATE		PROJ. NAME	New Crow Facility
△		DATE		PROJ. SIZE	80'-0" x 125'-0" x 14'-0"
△		DATE		LOCATION	Leslie, MI
				DESIGN: RTS	DRAFT: CC CHECK:
				DATE: 3/15/21	SHEET: 01 OF 09
					TBC JOB 21-029





RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frn Line	Col Line	Load Id	Hmax	V	Column_Reactions(k)	Hmin	Vmin	Bolt Qty	Diag	Base_Plate(in)	Width	Length	Thick	Grout (in)
2*	E	5	22.9	29.6	1	-8.9	-10.3	4	0.750	6.000	9.750	0.625	0.0	
2*	A	2	8.9	-10.3	5	-22.9	29.6	4	0.750	6.000	9.750	0.625	0.0	
2*	A	5	-22.9	29.6	4	-7.7	-17.3							

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column	Dead	Collateral	Live	Wind	Snow	Wind_Left1	Wind_Right1
2*	E	2.4	3.5	4.8	6.0	9.5	12.0	13.8
2*	A	-2.4	3.5	-4.8	6.0	-9.5	12.0	-13.8

ENDWALL COLUMN REACTIONS(k)

MAXIMUM VERTICAL	Dead+Collateral+Live	= 9.0
MAXIMUM VERTICAL	Dead+Wind	= 7.5
MAXIMUM HORIZONTAL	Dead+Wind	= 4.7

BUILDING BRACING REACTIONS

Panel Shear (lb/ft)	Wind	Seismic
L-EW	1	36
E-SW	A	1.0
B-SW	E	28

NOTES FOR REACTIONS

Building reactions are based on the following building data:

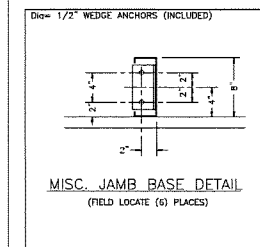
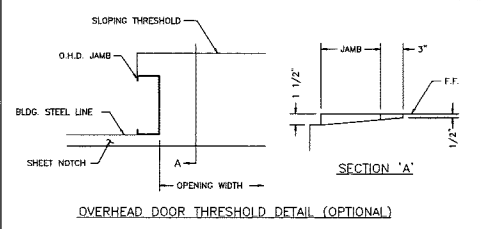
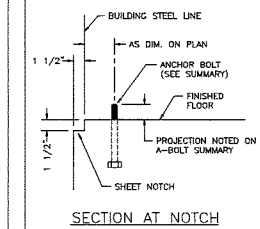
- Width (ft) = 80.0
- Length (ft) = 125.0
- Eave Height (ft) = 17.5 / 17.5
- Roof Slope (rise/12) = 1.0 / 12.0
- Dead Load (psf) = 20.0
- Collateral Load (psf) = 6.0
- Roof Live Load (psf) = 20.0
- Frame Live Load (psf) = 12.0
- Snow Load (psf) = 17.5
- Wind Speed (mph) = 115.0
- Wind Code = MBC 15 (BC 15)
- Exposure = C
- Closed/Open = C
- Impermeance Wind = 1.00
- Impermeance Seismic = 1.00
- Seismic Zone = B
- Seismic Coeff (Fa/Sa) = 0.14

ID Description

- 0.6Dead+0.6Wind_Left1
- 0.6Dead+0.6Wind_Right1
- 0.6Dead+0.6Wind_Long1L
- 0.6Dead+0.6Wind_Long2L
- Dead+Collateral+WL_SNOW
- 0.6Dead+0.6Wind_Suction+0.6Wind_Long1L
- 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L
- Dead+Collateral+E1PAT_LL_4
- 0.6Dead+0.6Wind_Left1+0.6Wind_Suction
- Dead+Collateral+E1UNB_SL_L
- 0.6Dead+0.6Wind_Right1+0.6Wind_Suction
- 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L
- Dead+Collateral+E1PAT_LL_5
- 0.6Dead+0.6Wind_Suction+0.6Wind_Long2L
- Dead+Collateral+E1PAT_LL_6
- Dead+Collateral+E2PAT_LL_4
- Dead+Collateral+E2UNB_SL_L
- Dead+Collateral+E2PAT_LL_5
- Dead+Collateral+E2UNB_SL_R
- Dead+Collateral+E2PAT_LL_6

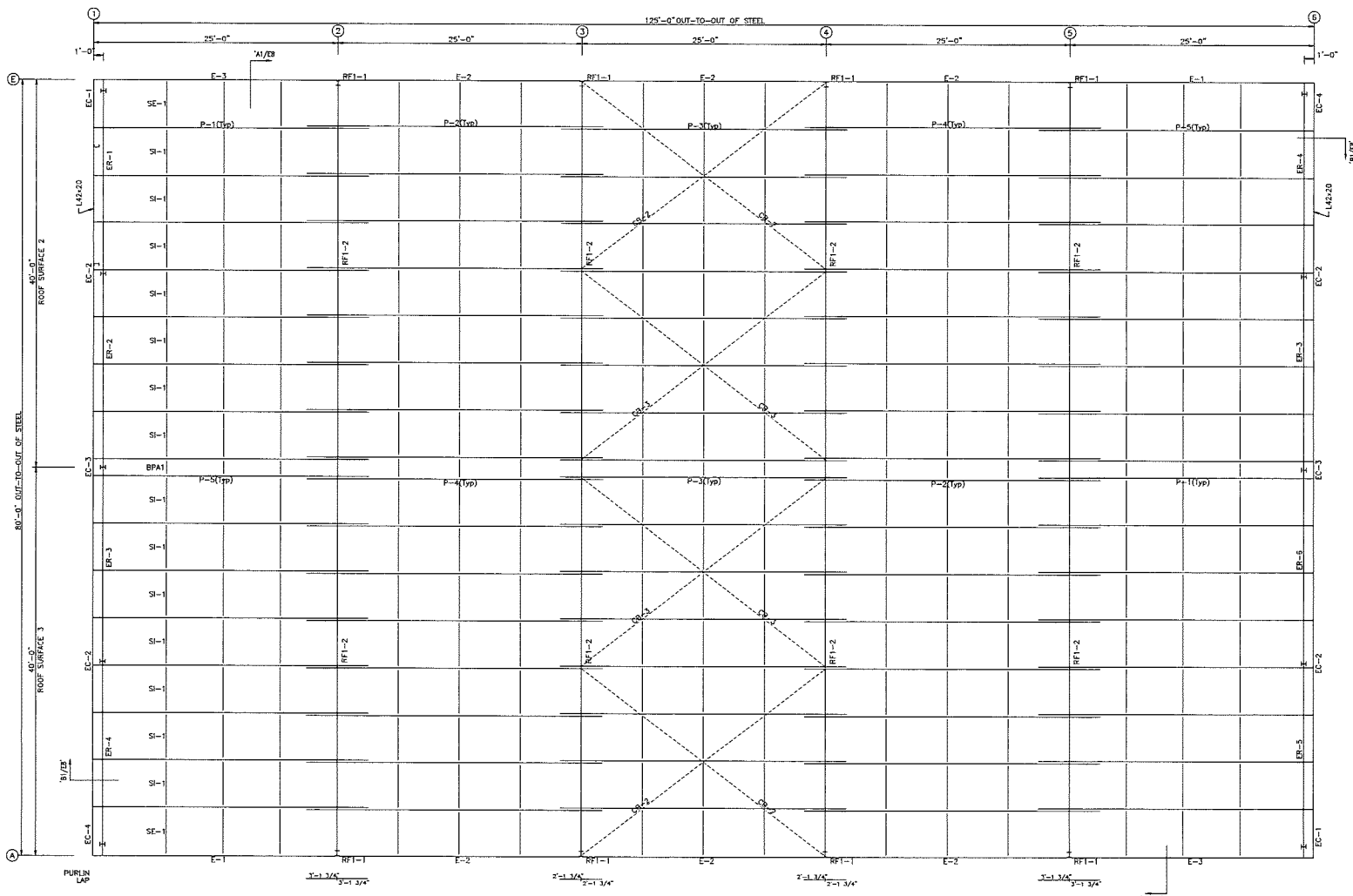
ANCHOR BOLT SUMMARY

Qty	Locate	Diag (in)	Type	Total Len (in)	Bend Len (in)	Proj (in)
4	Jamb	1/2"	A307	4.25	1.00	
40	Endwall	5/8"	A307	15.0	2.00	1.50
32	Frame	3/4"	A307	18.0	3.00	2.50



REVISIONS		ANCHOR BOLT DETAILS & REACTIONS		TERRY BUILDING EQUIPMENT
NO.	DATE	CUSTOMER	GAD Erectors	
1	4-2-21	New Crow Facility		
2		80'-0" x 125'-0" x 14'-0"		
3				
4				

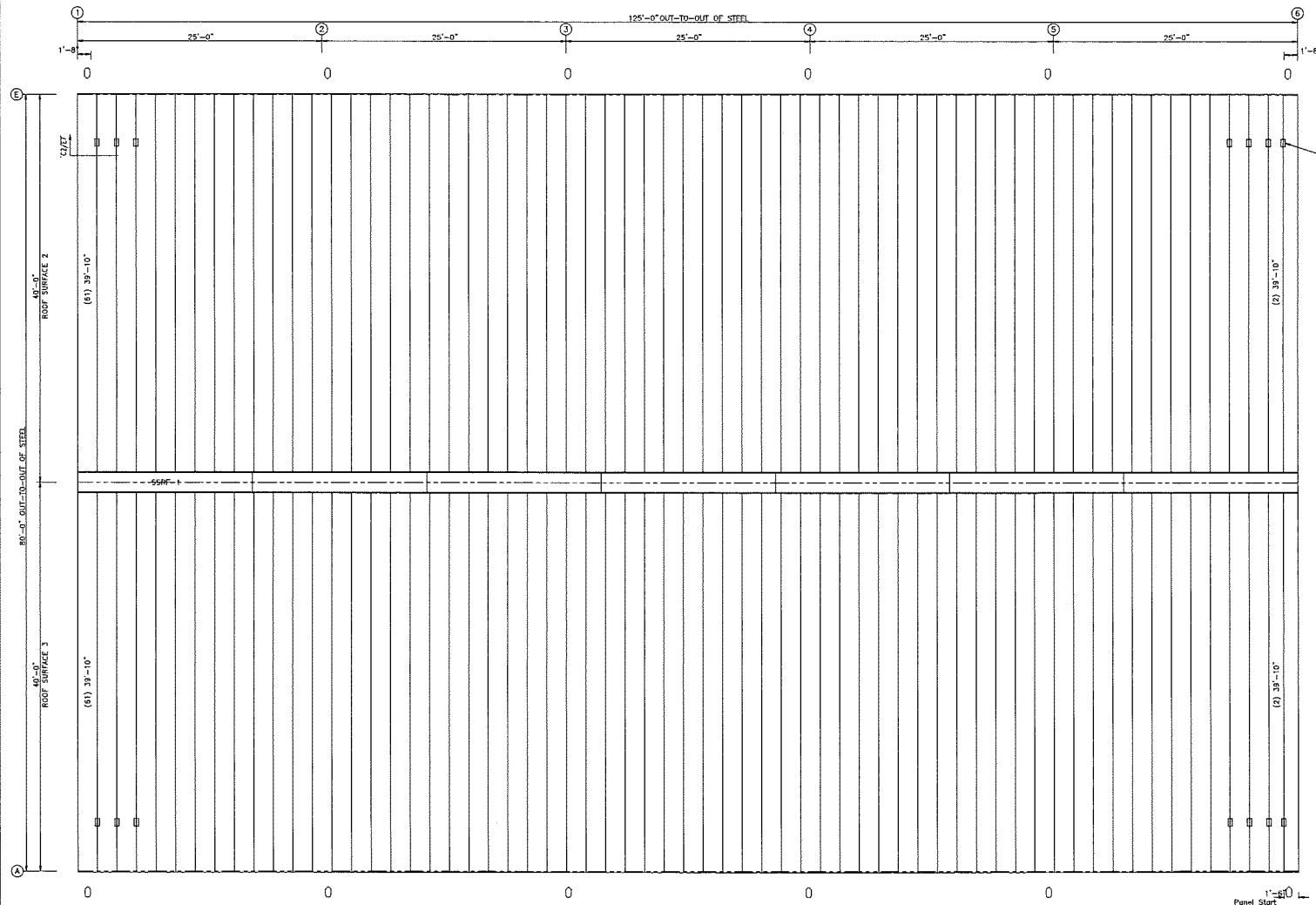
MEMBER TABLE		
ROOF PLAN		
MARK	MEMT	LENGTH
P-1	8X25Z12	28'-1 1/2"
P-2	8X25Z14	30'-3 1/2"
P-3	8X25Z14	29'-1 1/2"
P-4	8X25Z14	30'-3 1/2"
P-5	8X25Z12	28'-1 1/2"
E-1	E085341L	24'-11 1/2"
E-2	E085341L	24'-11 1/2"
E-3	E085341L	24'-11 1/2"
CB-3	3/8" CBL	32'-0 1/4"
BPA1	L4x2x16p	1'-8 1/8"
SI-1	HW4666A	5'-0 15/16"
SE-1	HW4666A	4'-11 3/16"



ROOF FRAMING PLAN

REVISIONS		ROOF FRAMING		TERRY	
△ C.O. #1 CC	DATE: 4-2-21	CUSTOMER	G&D Erectors	DESIGN: RTS	DRAFT: CC
△	DATE:	PROJ. NAME	New Grow Facility	DATE: 3/15/21	CHECK: E1
△	DATE:	PROJ. SIZE	80'-0" x 125'-0" x 14'-0"	DATE: 3/15/21	SHEET E1 OF E9
△	DATE:	LOCATION	Leslie, MI	DATE:	TBC JOB 21-029

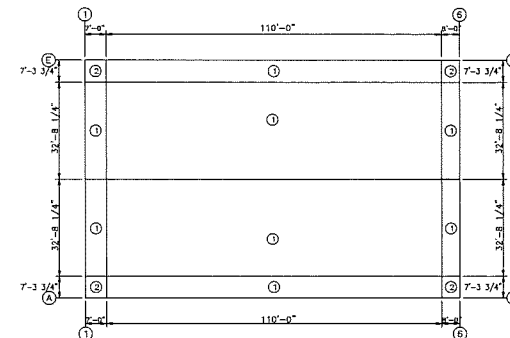
0 DOWNSPOUT LOCATIONS



WIND CLAMP NOTES:

- 1.) ENGINEERING ANALYSIS OF WIND LOADS FOR BUILDING INDICATE AREAS OF THE ROOF WHERE S-5 WIND CLAMPS SHALL BE INSTALLED AT SPECIFIED STANDING SEAM PANEL CLIP LOCATIONS TO ACHIEVE MINIMUM REQUIRED RESISTANCE TO WIND UPLIFT.
- 2.) WIND CLAMPS ARE TO BE LOCATED AT THE PANEL CLIP LOCATIONS AS SHOWN ON THE ROOF SHEETING PLAN.
- 3.) TORQUE SET SCREWS IN EACH CLAMP TO 140 IN-LBS (NOT FT-LBS).
- 4.) ADDITIONAL INSTALLATION PROCEDURE CAN BE FOUND ON THE S-5 WEBSITE.

STANDING SEAM TABLE				
SEAM ID	TYPE	CLIP PART	SCREW Qty	WIND CLAMP PART
1	STANDARD	CL2124	2 #1	CLS
2	STANDARD	CL2124	2 #1	CLS69



PANEL ZONE LAYOUT
(Minimum Fastener Spacing)

REFER TO S-5's DOCUMENTATION FOR SEAM CLAMP INSTALLATION INFORMATION

GENERAL NOTES:

Terry Building Co. recommends that panel bundles be stored under a roof whenever possible. If panel bundles are stored outside, the following list of items should be adhered to in order to help preserve panel warranties:

1. The storage area should be reasonably level, and should be located so as to minimize handling of bundles during the construction process.
2. When stored on bare ground, place a plastic ground cover under the bundles to minimize condensation on the panel from moisture in the soil.
3. Store bundles at least 12 inches above ground level to allow air circulation beneath the bundle and to prevent rising water from entering bundle.
4. Elevate one end of the bundle slightly to permit runoff of moisture from the top of the bundle or from between nested panels. A waterproof cover should be placed over the bundle with allowance for air circulation under the cover.
5. Re-cover opened bundles at the end of each day to prevent entry of moisture.

REFER TO CSMI CENTRAL SEAM PLUS MANUAL FOR ADDITIONAL SECTIONS AND DETAILS NOT SHOWN ON THESE DRAWINGS

ROOF SHEETING PLAN
PANELS: 24 Ga Central Seam Plus - Galvalume

REVISIONS		ROOF SHEETING				TERRY BUILDING COMPANY	
Δ	C.O. #1 CC	DATE:	4-2-21	CUSTOMER:	G&D Erectors	DESIGN: RTS	DRAFT: CC
Δ		DATE:		PROJ. NAME:	New Grow Facility	DATE:	3/15/21
Δ		DATE:		PROJ. SIZE:	88'-0" x 125'-0" x 14'-0"	SHEET:	E2 OF E5
Δ		DATE:		LOCATION:	Leslie, MI	TDC JOB #:	21-029

SPLICE PLATE & BOLT TABLE									
Mark	Qty		Type	Dia	Length	Width	Thick	Length	
	Top	Bot							
SP-1	4	4	A325	1"	2'-1 1/2"	6"	5/8"	3'-5 1/4"	1'-4"
SP-2	2	4	A325	3/4"	2'	6"	1/2"	2'-4 1/4"	

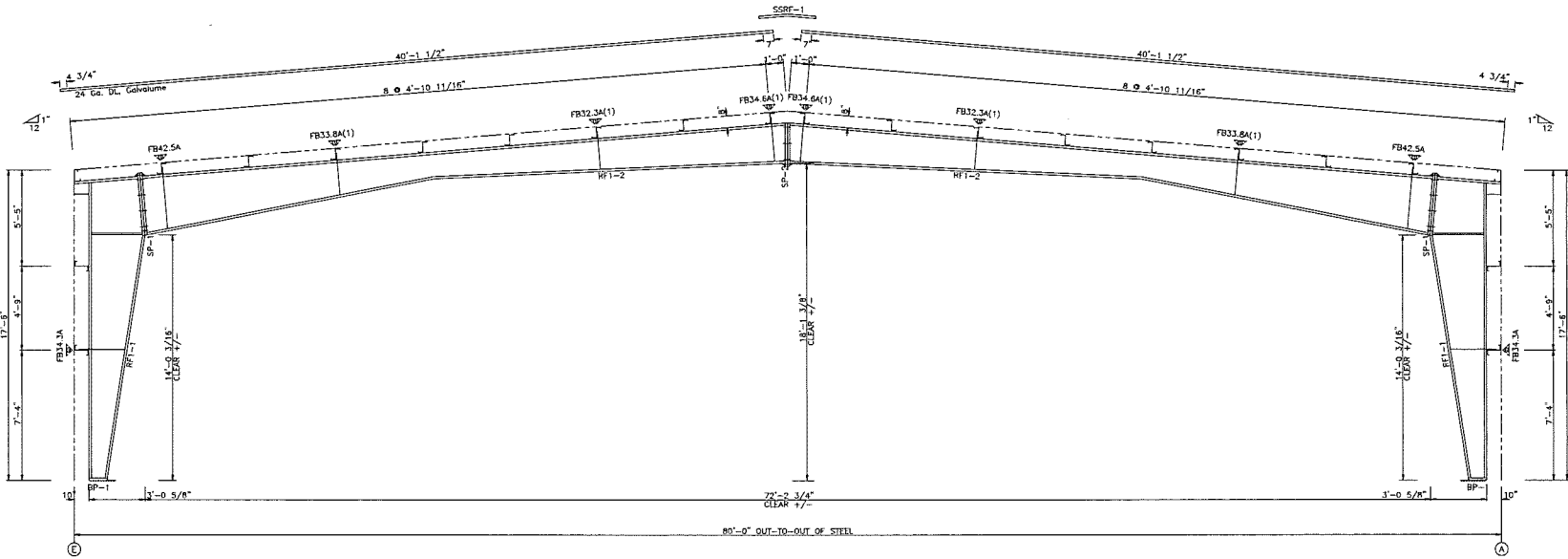
STIFFENER TABLE				
Mark	Stiff Mark	Plate Size		
		Width	Thick	Length
RF1-1	ST1	2	1/21/4"	35 7/8"

BASE PLATE TABLE				
Col Mark	Width	Thick	Plate Size	
			Length	
BP-1	6"	5/8"	9	3/4"

▽ FLANGE BRACES: Both Sides(U.N.)
 FBxA(1); xx=length(in)
 A - L2X2X1/8

MEMBER TABLE									
Mark	Weight	Web Depth		Web Plate		Outside Flange		Inside Flange	
		Start/End	Thick	Length	W x Thk x Length	W x Thk x Length			
RF1-1	645	9 0/32.2	0.250	12'-0"	6 x 1/4" x 18'-2 15/16"	6 x 3/8" x 14'-1 5/16"			
RF1-2	1044	32 2/32.0	0.250	5'-0 11/16"	6 x 1/4" x 3'-7"				
		37 0/32.3	0.250	6'-5 5/8"	6 x 1/4" x 18'-0 5/8"				
		28 3/16.0	0.188	9'-11"	6 x 3/8" x 18'-4"	6 x 5/16" x 9'-7 3/4"			
		15 0/32.4	0.135	12'-0"	6 x 3/8" x 2'-0"	6 x 1/4" x 19'-10 1/8"			
		20 4/32.0	0.135	8'-0"					

CONNECTION PLATES	
ID	Mark/Part
1	FB1-1
2	FB1-2



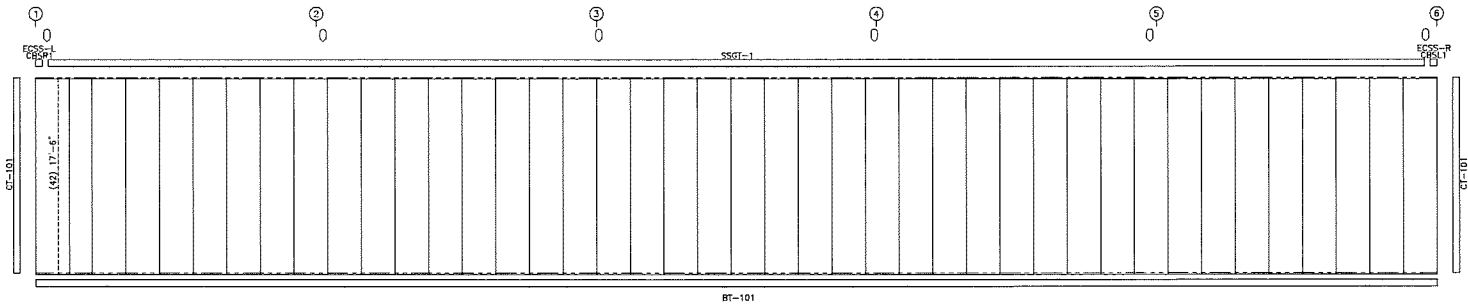
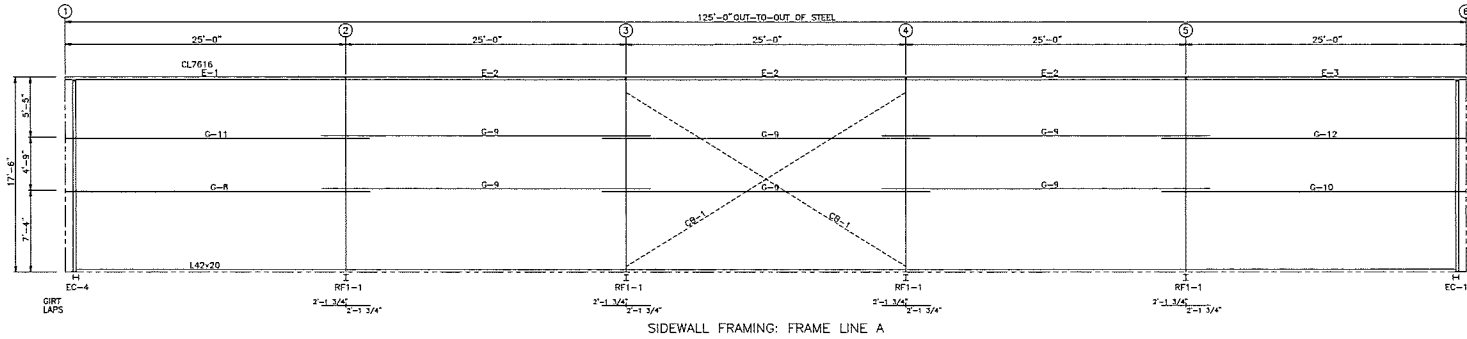
RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5

REVISIONS		RIGID FRAME ELEVATION		TERRY BUILDING COMPANY	
Δ	C.O. #1 CC	DATE: 4-2-21	CUSTOMER: G&D Erectors	DESIGN: RTS	DRAFT: CC
Δ		DATE:	PROJ. NAME: New Grow Facility	CHECK:	
Δ		DATE:	PROJ. SIZE: 80'-0" x 125'-0" x 14'-0"	DATE: 3/15/21	SHEET E3 OF E9
Δ		DATE:	LOCATION: Leslie, MI		TBC 308 21-029

0 DOWNSPOUT LOCATIONS

TRIM TABLE		
FRAME LINE A	LENGTH	DETAIL
CL-101	117'-9"	TRIM 198

MEMBER TABLE		
MARK	PART	LENGTH
E-1	E085341L	24'-11 1/2"
E-2	E085341L	24'-11 1/2"
E-3	E085341L	24'-11 1/2"
C-8	10X25214	27'-1 1/2"
C-9	10X25216	29'-3 1/2"
C-10	10X25214	27'-1 1/2"
C-11	10X25216	27'-1 1/2"
C-12	10X25216	27'-1 1/2"
CR-1	3/8" CRI	30'-2"



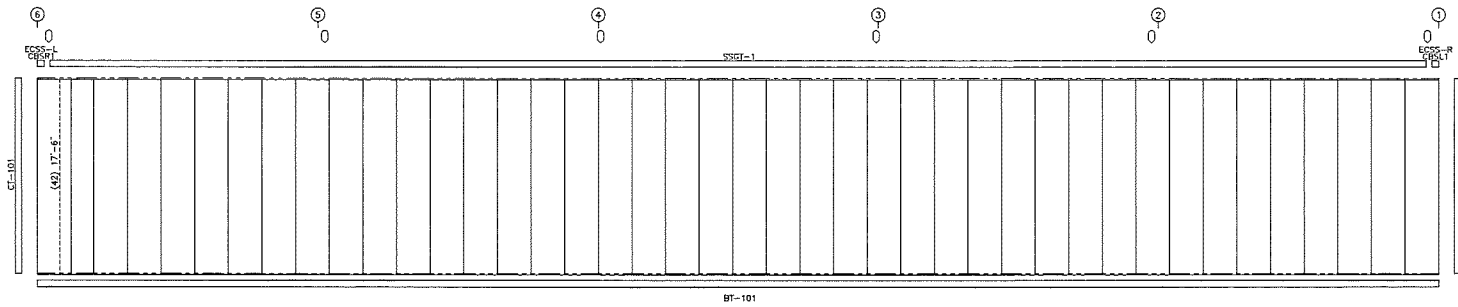
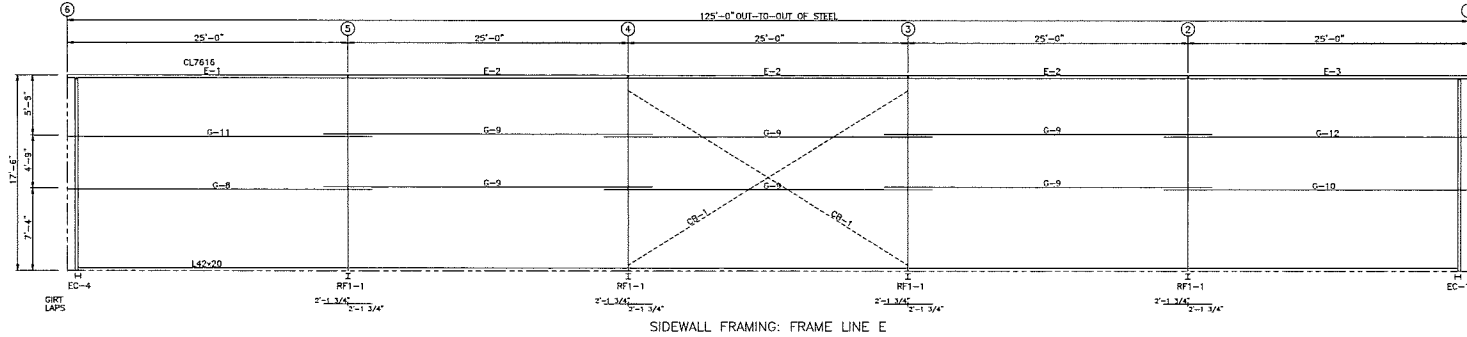
REVISIONS		SIDEWALL FRAMING		TERRY	
Δ C.O. #	CC	DATE	4-2-21	CUSTOMER	G&D Erectors
Δ		DATE		PROJ. NAME	New Grow Facility
Δ		DATE		PROJ. SIZE	80'-0" x 125'-0" x 14'-0"
Δ		DATE		LOCATION	Leslie, MI

DESIGN: RTS DRAFT: CC CHECK: []
DATE: 3/15/21 SHEET: 14 OF 19
TRC JOB 21-029

0 DOWNSPOUT LOCATIONS

TRIM TABLE		
FRAME LINE	F	
SHEET MARK	LENGTH	DETAIL
01-101	17'-0"	TRIM 198

MEMBER TABLE		
FRAME LINE	F	
MARK	SIZE	LENGTH
E-1	E085341L	24'-11 1/2"
E-2	E085341L	24'-11 1/2"
E-3	E085341L	24'-11 1/2"
G-8	10X25Z14	27'-1 1/2"
G-9	10X25Z16	29'-3 1/2"
G-10	10X25Z14	27'-1 1/2"
G-11	10X25Z16	27'-1 1/2"
G-12	10X25Z16	27'-1 1/2"
CB-1	1/8" CB	30'-0"



SIDEWALL SHEETING & TRIM: FRAME LINE E
 PANELS: 26 Ga PBR - Ash Gray

REVISIONS		SIDEWALL FRAMING		TERRY	
Δ C.O. #	CC	DATE	4-2-21	CUSTOMER	G&D Erectors
Δ		DATE		PROJ. NAME	New Grow Facility
Δ		DATE		PROJ. SIZE	80'-0" x 125'-0" x 14'-0"
Δ		DATE		LOCATION	

DESIGN	RTS	DRAFT	CC	CHECK	
DATE	3/15/21	SHEET	PS	OF	E9
				LESLIE, MI	TFC JOB 21-029

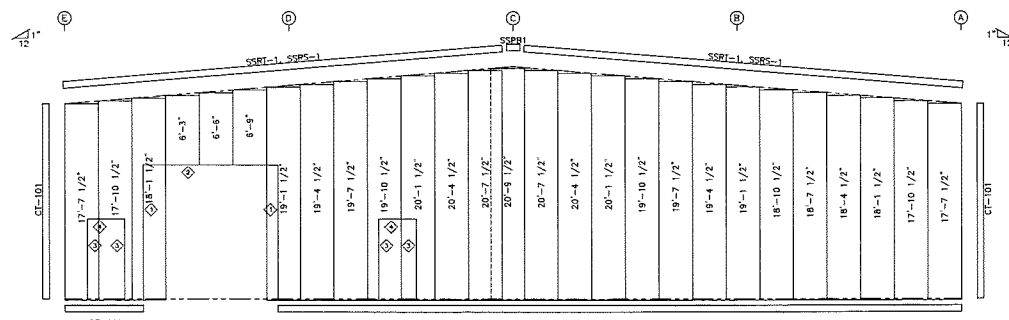
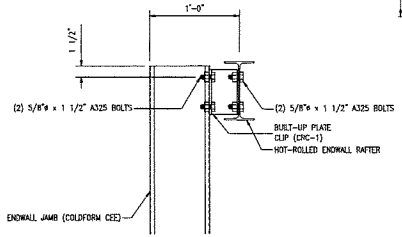
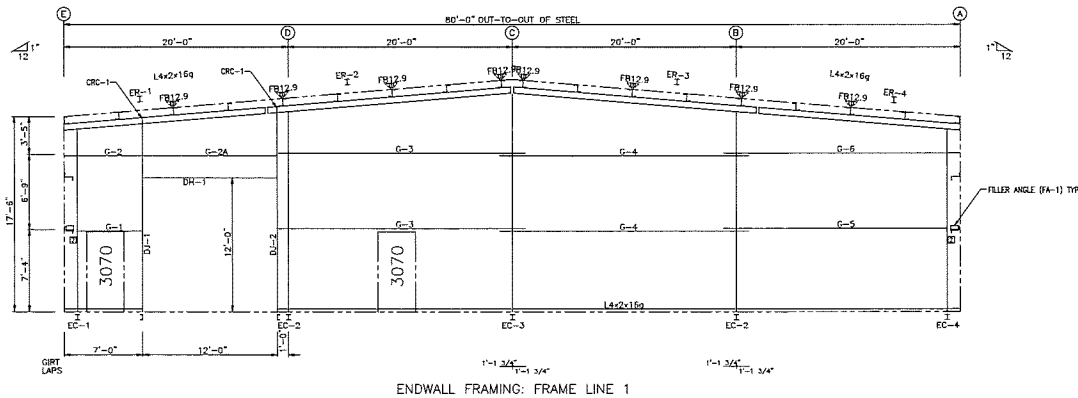
BOLT TABLE				
FRAME LINE 1				
LOCATION	QUAN	TYPE	SIZE	LENGTH
ER-1/ER-2	4	A325	5/8"	2"
ER-2/ER-3	6	A325	3/4"	2"
ER-3/ER-4	4	A325	5/8"	2"
Cor_Column/Raf	2	A325	5/8"	1 1/2"
EC-2/ER-2	2	A325	5/8"	1 1/2"
EC-3/ER-3	2	A325	5/8"	1 1/2"
EC-2/ER-3	2	A325	5/8"	1 1/2"
Column	4	A325	3/8"	1 1/2"

TRIM TABLE			
FRAME LINE 1			
QTY	MARK	LENGTH	DETAIL
1	CT-101	17'-5"	TRIM_198
1	JT-101	12'-6"	TRIM_239
3	HT-101	12'-6"	TRIM_232
1	JT-101	7'-8"	TRIM_239
4	HT-101	3'-10"	TRIM_232

MEMBER TABLE			
FRAME LINE 1			
MARK	PART	LENGTH	
EC-1	WBX10	19'-1"	
EC-2	WBX10	17'-7"	13/16"
EC-3	WBX10	19'-4"	1/16"
EC-4	WBX10	16'-1"	
ER-1	WBX10	18'-1"	1/2"
ER-2	WBX10	22'-0"	3/16"
ER-3	WBX10	22'-0"	3/16"
ER-4	WBX10	18'-1"	1/2"
DJ-1	8X25C14	17'-5"	
DJ-2	8X25C16	18'-5"	
DH-1	8X25C16	12'-0"	
G-1	8X25C16	5'-11"	
G-2	8X25C16	6'-9"	
G-2A	8X25C16	11'-11"	1/2"
G-3	8X25C16	21'-11"	
G-4	8X25C16	22'-3"	1/2"
G-5	8X25C16	20'-3"	1/2"
G-6	8X25C16	21'-1"	1/2"

FRAMING BRACE TABLE			
FRAME LINE 1			
QTY	MARK	LENGTH	
1	FB12-3	11'-9"	7/8"

CONNECTION PLATES			
FRAME LINE 1			
QTY	MARK	PART	
1	FD-1		
2	r1		
3	11		



GENERAL NOTES:
 1. All panels are supplied with square ends as shown. Panels must be field-cut to pitch when required at endwalls and/or parapet backpanels.

REVISIONS		ENDWALL FRAMING		TERRY BUILDING COMPANY	
NO.	DATE	CUSTOMER	DESIGN	DRAFT	CHECK
1	4-2-21	G&D Erectors	RTS	CC	
2		New Grow Facility			
3					
4					

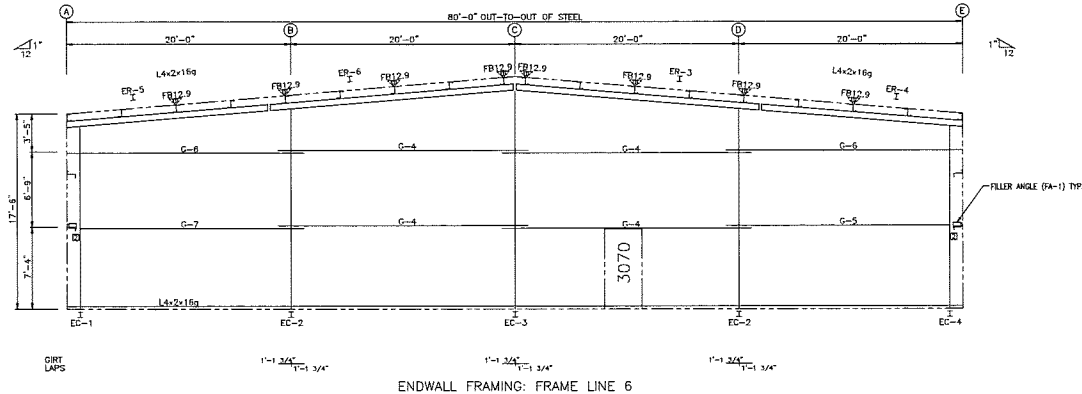
BOLT TABLE				
FRAME LINE 6				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-3/ER-6	4	A325	5/8"	2"
ER-3/ER-6	6	A325	3/4"	2"
ER-3/ER-4	4	A325	5/8"	2"
Cor. Column/Ref	2	A325	5/8"	1 1/2"
EC-2/ER-6	2	A325	5/8"	1 1/2"
EC-3/ER-3	2	A325	3/4"	1 1/2"
EC-2/ER-3	2	A325	5/8"	1 1/2"

TRIM TABLE			
FRAME LINE 6			
TRIM MARK	LENGTH	DETAIL	
CT-TOT	17'-8"	TRIM_198	
1 HT-101	7'-8"	TRIM_239	
2 HT-101	3'-10"	TRIM_232	

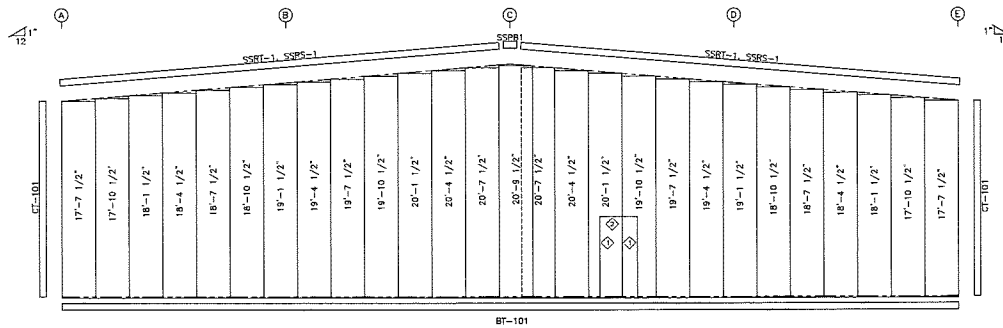
MEMBER TABLE		
FRAME LINE 6		
MARK	TYPE	LENGTH
EC-1	WBX10	16'-1"
EC-2	WBX10	17'-7 1/2" 13/16"
EC-3	WBX10	19'-4 1/16"
EC-4	WBX10	16'-1"
ER-3	WBX10	22'-0 3/16"
ER-4	WBX10	18'-1 1/2"
ER-5	WBX10	18'-1 1/2"
ER-6	WBX10	22'-0 3/16"
G-4	8X25216	22'-3 1/2"
G-5	8X25216	20'-3 1/2"
G-6	8X25216	21'-1 1/2"
G-7	8X25216	20'-3 1/2"

FLANGE BRACE TABLE		
FRAME LINE 6		
FLG MARK	LENGTH	
1 FB12.9	11'-0 7/8"	

CONNECTION PLATES	
FRAME LINE 6	
CON MARK	PART
1	FPBD-1
2	LGCC-4



ENDWALL FRAMING: FRAME LINE 6



ENDWALL SHEETING & TRIM: FRAME LINE 6

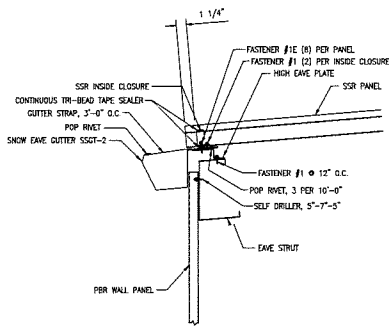
PANELS: 26 Ga. PBR - Ash Gray

GENERAL NOTES:
 1. All panels are supplied with square ends as shown.
 Panels must be field-cut to pitch when required at endwalls and/or parapet backpanels.

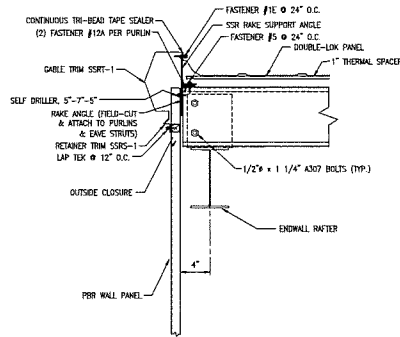
REVISIONS		ENDWALL FRAMING	
Δ	E.D. #1 EC	DATE: 4-2-21	CUSTOMER: G&D Erectors
Δ		DATE:	PROJ. NAME: New Grow Facility
Δ		DATE:	PROJ. SIZE: 80'-0" x 125'-0" x 14'-0"
Δ		DATE:	LOCATION: Leslie, MI



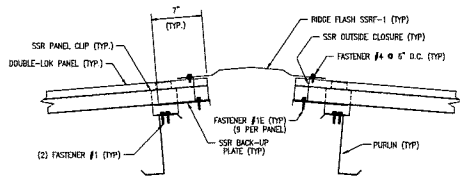
DESIGN: RTS DRAFT: CC CHECK:
 DATE: 3/15/21 SHEET E7 OF E9
 TBC JOB 21-029



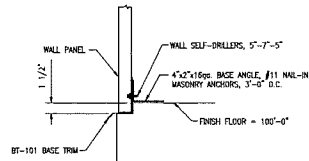
SECTION 'A1/E8'



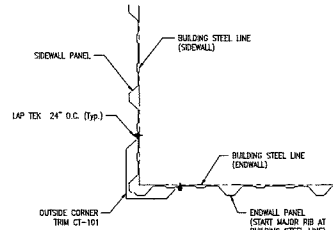
SECTION 'B1/E8'



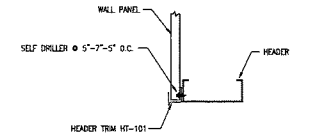
CENTRAL SEAM PLUS RIDGE FLASHING



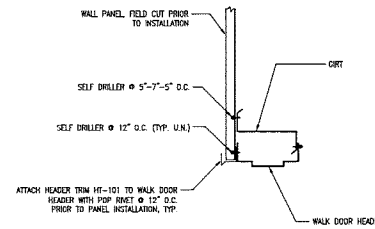
R-PANEL BASE TRIM DETAIL



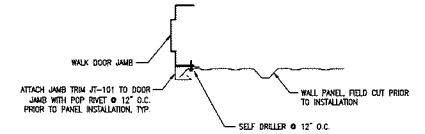
OUTSIDE CORNER TRIM DETAIL



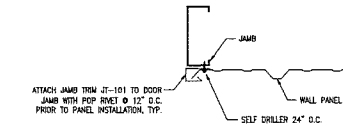
HEADER TRIM HT-101 DETAIL



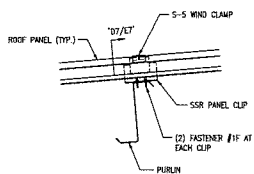
HEADER TRIM STD. WALK DOOR



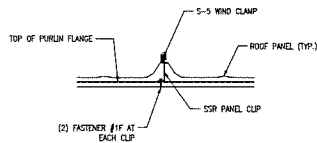
JAMB TRIM STD. WALK DOOR



JAMB TRIM JT-101 DETAIL



SECTION 'C2/E7'



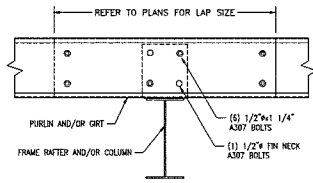
SECTION 'D7/E7'

REFER TO CSMI CENTRAL SEAM PLUS MANUAL FOR ADDITIONAL SECTIONS AND DETAILS NOT SHOWN ON THESE DRAWINGS

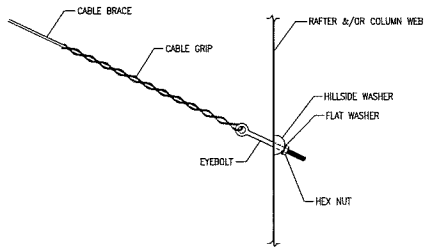
REVISIONS		DATE		DETAIL DRAWINGS		DESIGN: RTS		DRAFT: CC		CHECK:	
Δ	G.O. #1	CC	DATE	4-2-21	CUSTOMER	G&D Erectors	DESIGN: RTS	DRAFT: CC	CHECK:	DATE	3/15/21
Δ			DATE		PROJ. NAME	New Grow Facility	DESIGN: RTS	DRAFT: CC	CHECK:	DATE	3/15/21
Δ			DATE		PROJ. SIZE	80'-0" v 125'-0" v 14'-0"	DESIGN: RTS	DRAFT: CC	CHECK:	DATE	3/15/21
Δ			DATE		LOCATION	Leslie, MI	DESIGN: RTS	DRAFT: CC	CHECK:	DATE	3/15/21



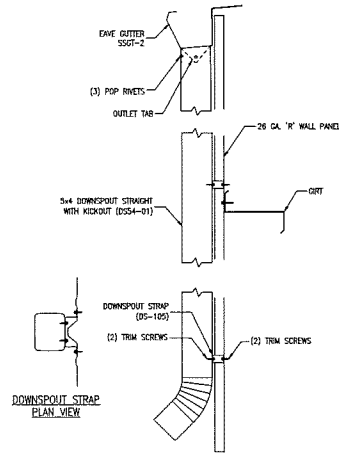
SHEET 88 OF 90
TBC JOB 21-029



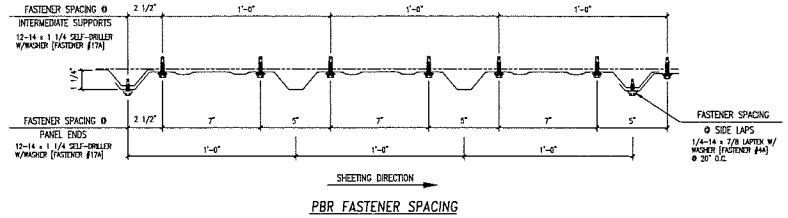
PURLIN AND/OR GIRT LAP DETAIL



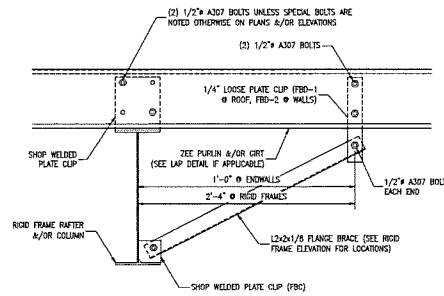
CABLE ATTACHMENT DETAIL



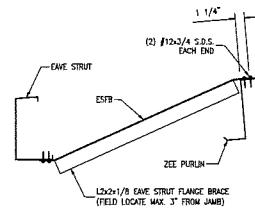
'R' WALL PANEL DETAIL



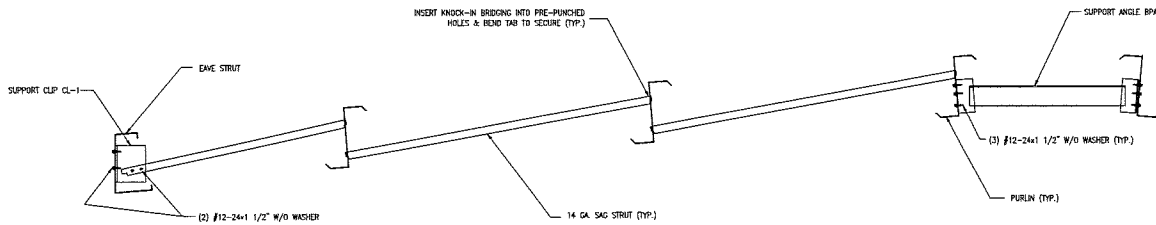
PBR FASTENER SPACING



FLANGE BRACE DETAIL (BY-PASS)



EAVE STRUT FLANGE BRACE DETAIL

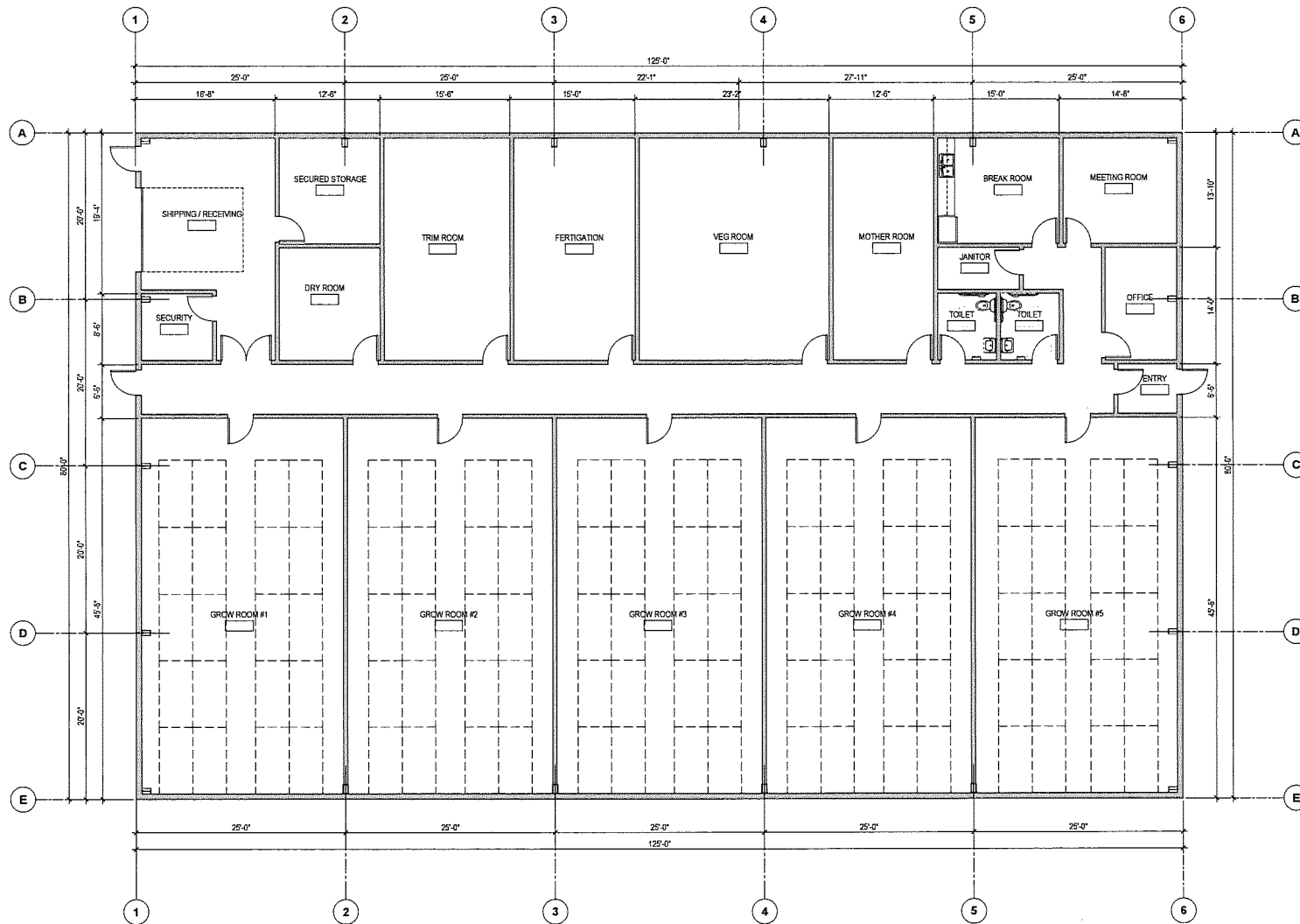


KNOCK-IN BRIDGING DETAIL

REFER TO CSMI PRECISION SEAM PLUS MANUAL FOR ADDITIONAL SECTIONS AND DETAILS NOT SHOWN ON THESE DRAWINGS

REVISIONS		DETAIL DRAWINGS			
Δ	C.O. #1 CC	DATE: 4-2-21	CUSTOMER	G&D Erectors	
Δ		DATE:	PROJ. NAME	New Grow Facility	DESIGN: RTS DRAFT: CC CHECK:
Δ		DATE:	PROJ. SIZE	80'-0" x 125'-0" x 14'-0"	DATE: 3/15/21 SHEET: P3 OF E9
Δ		DATE:	LOCATION	Leslie, MI	TBC JOB 21-022

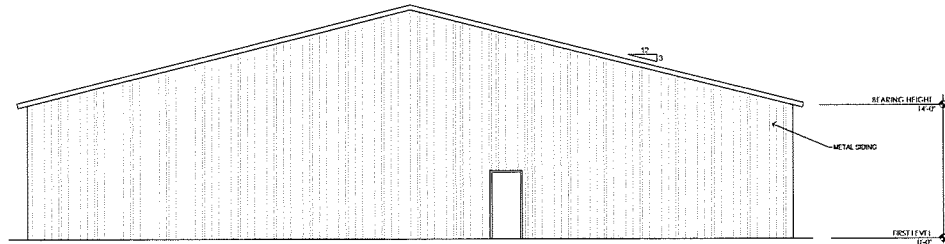




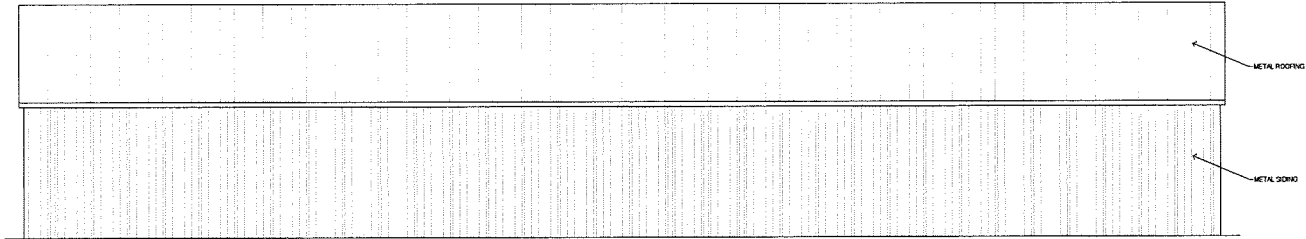
FLOOR PLAN
SCALE: 3/32" = 1'-0"

new grow facility
Industrial Drive
Leslie, Michigan

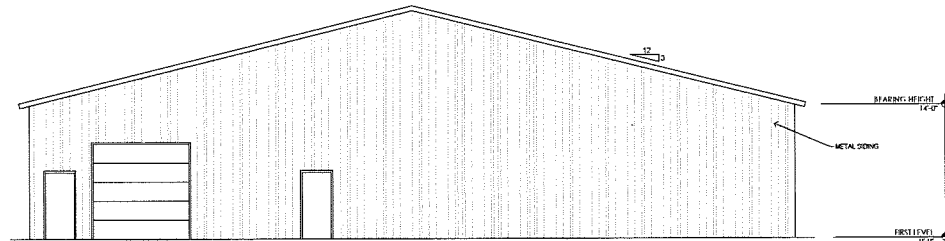




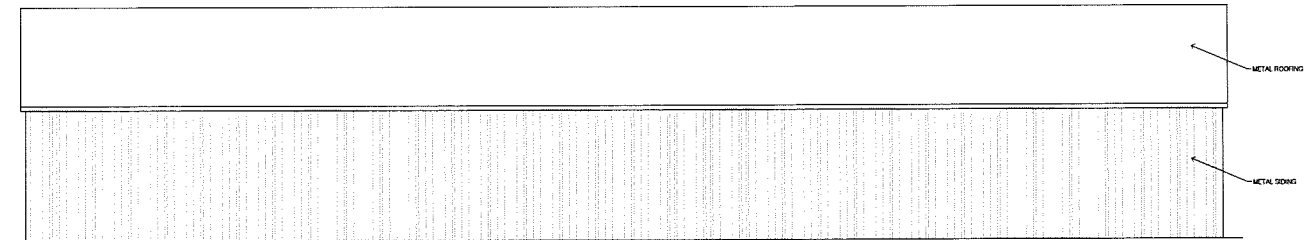
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

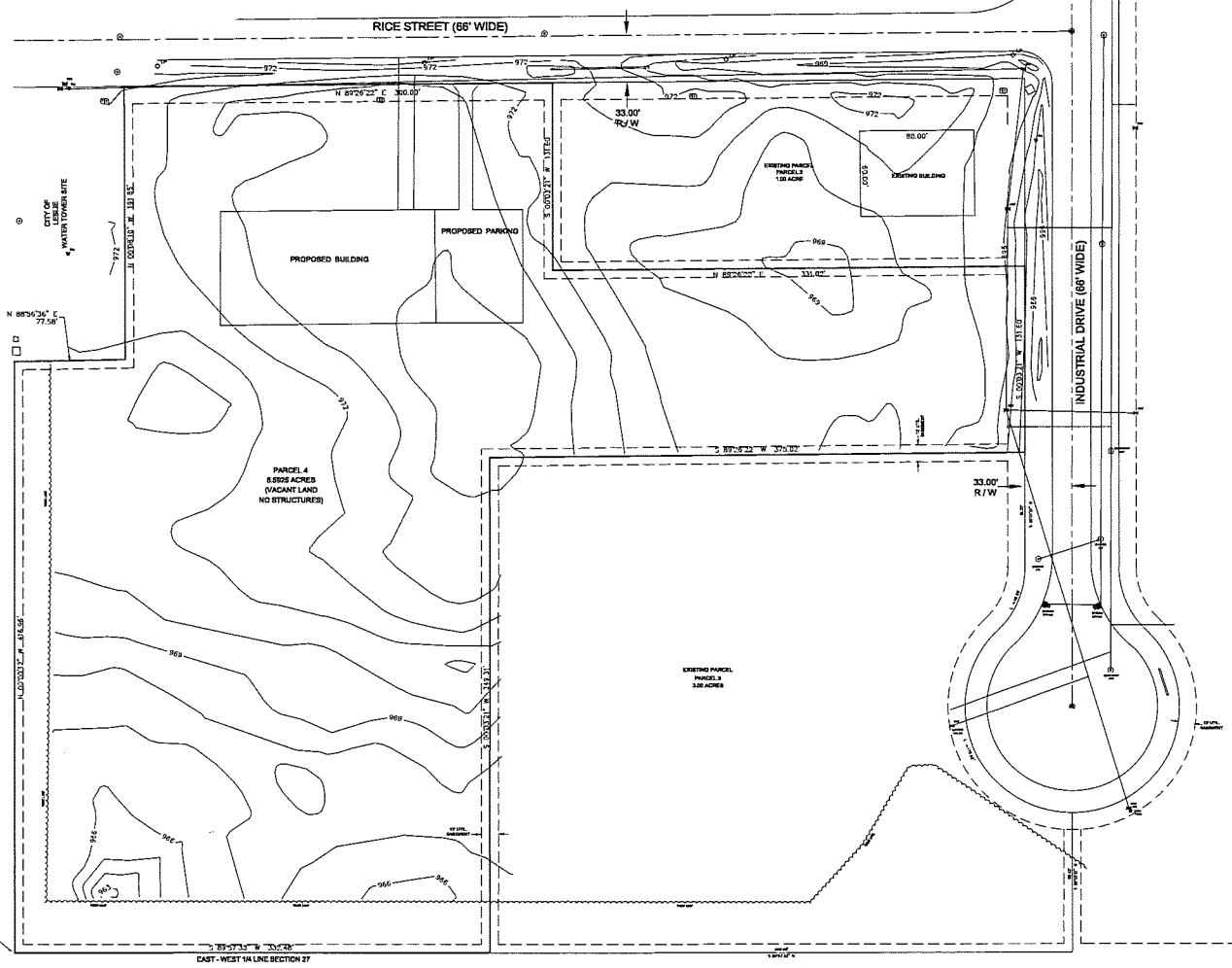


NORTH ELEVATION

TOPOGRAPHIC SURVEY
FOR
LUXX HOLDING L.L.C.

PROPERTY DESCRIPTION

A parcel of land being part of the South 1/2 of the Northwest 1/4 of Section 27, Town 1 North, Range 1 West, City of Leelanau, Iospeh County, Michigan being more specifically described as follows: To locate the Place of Beginning, commence at the West 1/4 corner of Section 27; thence N 89°57'33" E, along the East - West 1/4 line of Section 27, a distance of 671.64 feet to the Place of Beginning; thence N 00°00'12" W, 415.96 feet; thence N 88°55'56" E, 71.58 feet; thence N 00°08'10" W, 131.85 feet to the Southerly right of way line of Rice Street; thence N 89°26'22" E, along the Southerly right of way of Rice Street, a distance of 300.00 feet; thence S 00°03'21" W, 131.60 feet; thence N 89°26'22" E, 231.02 feet, to the Westerly right of way line of Industrial Drive (so called); thence S 00°03'21" W, along the Westerly right of way of Industrial Drive, a distance of 131.60 feet; thence S 89°26'22" W, 375.00 feet; thence S 00°03'21" W, 249.31 feet to the East - West 1/4 Line of Section 27; thence S 89°57'33" W, along the East - West 1/4 Line 332.48 feet, to the Place of Beginning.
Containing 5.5925 acres of land.
Subject to all existing pertinent easements and restrictions of record.



- ELEVATION DATA**
ELEVATIONS CITED ON THIS DRAWING WERE DERIVED FROM SATELLITE OBSERVATIONS ADJUSSTED TO THE SITE AND VERIFIED AGAINST U.S.G.S. VERTICAL CONTROL MONUMENTS. CONTIGUOUS TO GRID 18.
- CONTOUR INTERVAL = 1 FOOT
- SITE DATA**
1. ZONING
SITE: GENERAL INDUSTRIAL (G-I)
 2. ADJACENT PARCELS
A) NORTH (COATING 1.00 ACRE PARCEL) & RICE STREET (66' WIDE) (SAME AS ITEM 1)
B) SOUTH (VACANT LAND TANK SP. 28-4-152-800000 BROWN TRACT)
C) EAST (EXISTING 1.00 ACRE PARCEL) & (WESTERLY R/W OF INDUSTRIAL DRIVE)
D) WEST (CITY OF LEEANAU WATER TOWER SITE) & (CONSUMERS ENERGY CO. BUS. STATION)
 3. SITE INFORMATION
A) 5.59 ACRES OF LAND (VACANT LAND, SURVEYED AND DESCRIBED)
B) SOUTH (VACANT LAND) PREVIOUSLY DEVELOPED WITH ROOF BEAMS
C) SITE IS LOCATED IN THE CITY OF LEEANAU INDUSTRIAL DISTRICT
D) SITE IS ADJACENT TO BLACKTOP-PAVEMENTED ROADWAYS WITH CONCRETE CURB/CUTTER ON THE NORTH (KNOWN AS RICE STREET) & POSSIBLE ACCESS ON INDUSTRIAL DRIVE TO THE EAST.
E) CITY OF LEEANAU SPRINGFIELD WATER TANK SITE IS ADJACENT TO THE WEST.

******* NOTE *******
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND FACILITIES AS SHOWN ON THE DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN ACCORDANCE WITH MICHIGAN P.A. NO. 174 OF 2013.

BASIS OF BEARINGS
BEARINGS ARE BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE.

- LEGEND**
- * FIRE HYD
 - SEWER MAINS
 - LIGHT POLES
 - STORM DRAINS
 - COMMUNICATION PEDESTALS
 - ~ WATER SO

FAUSER LAND SURVEYING					MARK A. FAUSER, P.S.	
LUXX HOLDING, LLC					TOPOGRAPHY	
DATE	SCALE	PROJECT NO.	FIGURE			
10/20/23	1"=40'	23-000	A			



2021-04



Permanent Sign Permit Application

Please contact City Manager, Susan Montenegro
with any questions at (517) 589-8236
Visit our website at www.cityofleslie.org

1. APPLICANT

Name: Beth Jessup
 Applicant's Business Name: Leslie Estates MHC
 Applicant's Business Address: 714 Mill St., Leslie 49251
 Address of Temporary Sign: 714 Mill St., Leslie 49251
 Phone Number(s): 517-589-8772 E-mail: ejessup@memhomes.us
317-812-5845

2. PROPERTY OWNER/LANDLORD

Same as Applicant Information (skip to #3)
 Name: _____
 Address: _____
 Phone Number(s): _____ E-mail: _____

3. PERMANENT SIGN INFORMATION

Property is: Residential Commercial Industrial Property Zoned: _____

Existing Sign(s):	Wall Signs	Pole Signs	Ground Signs	Canopy Signs	Projecting Signs
Number of Sign(s):		1	Removing		
Size(s):		3' x 4'			
Proposed Sign(s):	Wall Signs	Pole Signs	Ground Signs	Canopy Signs	Projecting Signs
Number of Sign(s):			1		
Size(s):			4' x 8'		

Total Square Footage: 32 sq Ft.

(Provide sketch of plot plan on next page)

4. PERMANENT SIGN SUBMITTAL REQUIREMENTS

- Two copies of the elevations of the proposed signage must be attached to this application for consideration.
- Two copies of a site sketch plan showing signage location by indicating linear distance in feet from existing building, property lines, and other structures on the property must be submitted. For your convenience, graph lines have been provided on the application, or the plot can be attached to the application.
- I hereby attest that all information on this application is, to the best of my knowledge, true and accurate.
- Additionally, I hereby grant permission for the City of Leslie Zoning Administrator to enter upon the above mentioned property (or as described in the attachment) for the purposes of gathering information related to this application.
- Furthermore, I hereby acknowledge that in review of this application, the City of Leslie may require outside services of a planner or engineer to ensure that the requested item(s) for review in this application is compliant to the current zoning laws and policies of the City of Leslie. I, as the applicant, acknowledge that any costs incurred by the City of Leslie as they relate to the review of this application by any of the City's consultants listed above are my responsibility to reimburse and agree to repay the City of Leslie for any and all costs incurred to it in the review of this application.

Fee: ___ Electric \$15 Non-Electric \$10

Signature: Elizabeth Jessup, Agent

Date: 4-9-21

Applicant is the: Owner Lessee Optionee Contractor/Architect

TO BE COMPLETED BY CITY

Date application and fee received: \$10 - Cash Staff Initials: DW Receipt #: _____

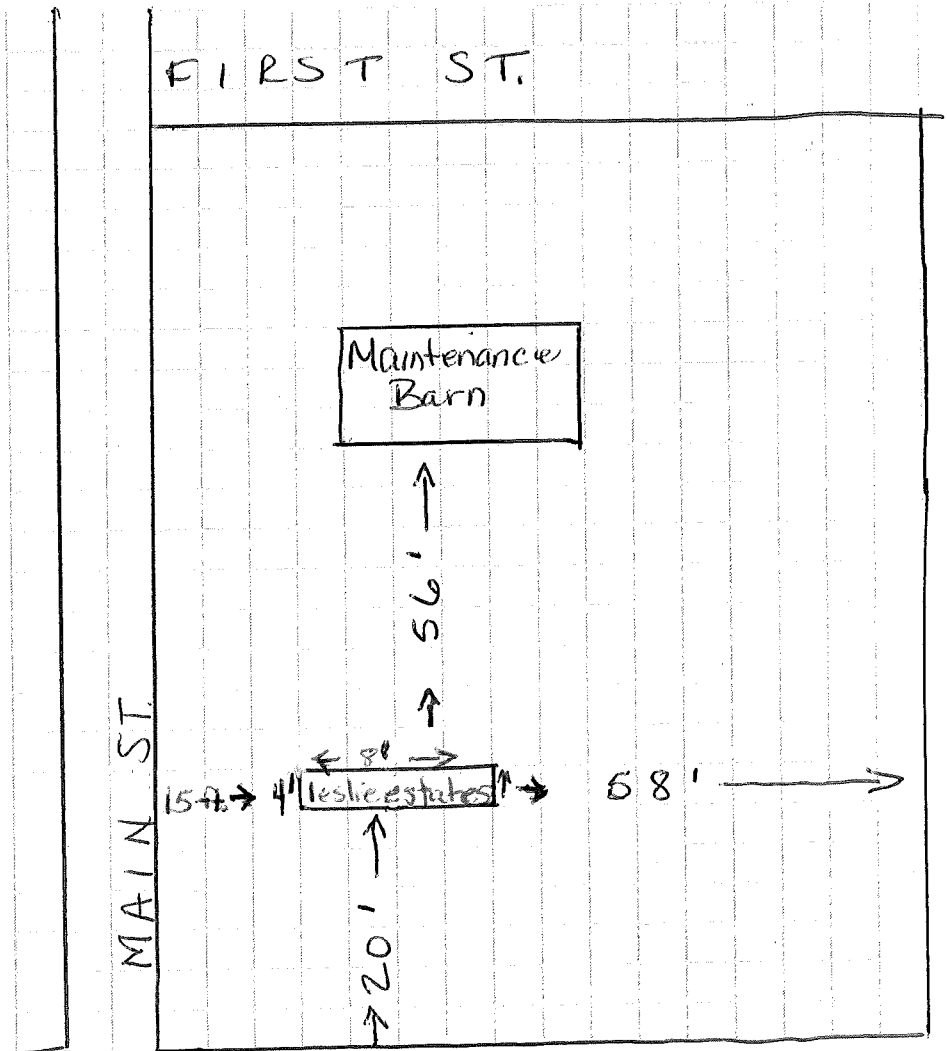
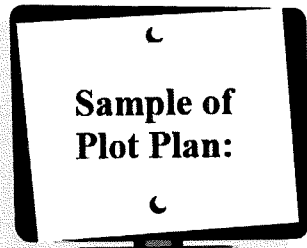
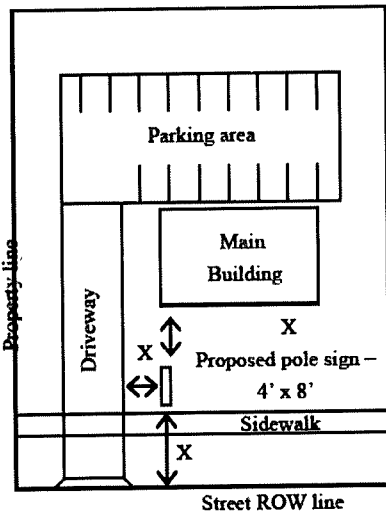
Application is: APPROVED DENIED

Explanation: _____

Zoning Administrator: _____ Date: _____

Plot Plan

(Remember to show streets, all structures, easements, driveways, existing signage & property lines)



Entrance ↑
714 Mill St.
Leslie 49251

MCM | RIVERVIEW



MONUMENT SIGN

1-Sided Structural Foam Sign | Synthetic Stucco Finish and Integrated Graphics | 96" x 48" x 18" | Qty:



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CITY OF LESLIE

602 W. Bellevue • P.O. Box 496 • Leslie, MI 49251-0496
Phone: 517-589-8236 • Fax: 517-878-6868 • Web Site: www.cityofleslie.org

TO: City of Leslie Planning Commission
FROM: Susan Montenegro, City Manager, Zoning Administrator
RE: Sign Permit Application 2021-02 for 714 Mill Street, Leslie Estates
DATE: April 12, 2021

A sign permit application was received from the applicant for a 32 square foot ground sign. The sign measures 4' x 8'. The property is zoned RM-1 multi-family residential district.

Section 98-613 (2) states "One sign identifying a multiple-family building or development not to exceed 12 square feet in area and placed no closer to any street right-of-way lane than one-half the minimum authorized front yard depth provided that any light used to illuminate such signs shall be nonflashing, reflected light and shall be so arranged that the source of light is not visible to traffic, neighboring residences, or to other units within the development."

Size and Setback

The applicant has proposed a 32 square foot sign. Section 98-613 (2) indicates that the "total sign area shall not exceed 12 square foot." However, the new sign ordinance to be implemented by June 1, 2021 states in Section 98-575 "One per major entrance, not greater than 32 square feet, Minimum of 15 feet from any side or rear property line; located no nearer than 200 feet to any other sign for the same development, not higher than five feet."

Recommended Action: A motion to approve sign application 2021-02 for 714 Mill Street based on the new sign ordinance language that will be effective by June 2021.